

MCRAE'S PATIO RENOVATION

ISSUED FOR DEVELOPMENT VARIANCE PERMIT : COUNCIL MEETING

ISSUED DATE 2024-09-18



GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. NO ALLOWANCES WILL BE MADE FOR ADDITIONAL COSTS AND NO CLAIMS WILL BE ENTERTAINED IN CONNECTION WITH CONDITIONS WHICH COULD REASONABLY HAVE BEEN ASCERTAINED BY SUCH INVESTIGATION OR OTHER DUE DILIGENCE PRIOR TO SUBMITTING A BID.
- GENERAL CONTRACTOR SHALL CONSULT WITH THE DESIGNER AND THE CLIENT TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, PROVINCIAL, AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING ANY WORK.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY THE DESIGNER AND/OR THE APPROPRIATE CONSULTANT OF RECORD OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. FOR RENOVATIONS ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES DAMAGED DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS "AS-BUILT" SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S CLOSE OUT DOCUMENTS PACKAGE. COPIES OF THE CLOSE OUT DOCUMENTS PACKAGE TO BE PROVIDED TO THE DESIGNER AND THE OWNER.
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE DESIGNER OR THE CLIENT.
- GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS, SAMPLES AND SUBMITTALS AS REQUIRED BY SPECIFICATIONS AND CONTRACT. SUBMITTALS TO BE MARKED UP TO INDICATE ALL OPTIONS, MODELS, QUANTITIES, ACCESSORIES AND OTHER REQUIREMENTS AS APPLICABLE TO THE PROJECT. GENERAL CONTRACTOR MAY REQUEST A LIST OF SHOP DRAWINGS REQUIRED THROUGH THE DESIGNER AT ANY TIME.
- ALL ISSUED CCNS AND SIS ARE TO BE ON SITE AND REFERENCED ON CONSTRUCTION DRAWINGS.
- GENERAL CONTRACTOR TO ENGAGE A SUPPORTING REGISTERED PROFESSIONAL WHEN THE SCOPE OF WORK REQUIRES ADDITIONAL ENGINEERING.

SHEET LIST

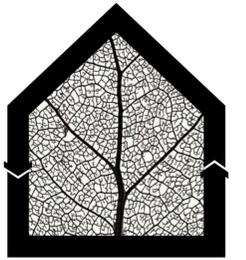
SHEET NUMBER	SHEET NAME
A0.00	PROJECT INFORMATION
A1.00	SITE SURVEY
A1.01	ROADWAY DEDICATION SURVEY
A1.02	SITE PLAN
A1.03	PATIO FLOOR PLAN
A1.04	PATIO RCP
A1.05	DUMED DOWN SITE PLAN
A2.01	ELEVATIONS
A5.01	DETAILS
A9.01	RENDERINGS

CONTACT INFORMATION

OWNER: LANA CHEN (CONTACT PROPERTY MANAGER KEN FETHERBY)
 kfetherby@naicommercial.ca
 250 888 1360

RESTAURANT OWNER: MICHAEL HELM
 michaeljordanhelm@gmail.com
 250 885 2739

ARCHITECTURAL TECHNOLOGIST: LEIF GUSTAVSON
 LG@STUDIOLEAF.CA
 250 480 9439



STUDIO LEAF.

PROJECT LOCATION

ADDRESS: 1652 McRae Ave, Victoria BC V8P 1H3
 LEGAL DESCRIPTION: LOT B, BLOCK 4, PLAN VIP1372, SECTION 35, VICTORIA LAND DISTRICT
 PID: 007-505-370



PROJECT INFORMATION

APPLICABLE BUILDING CODE: BRITISH COLUMBIA BUILDING CODE 2024

ZONING: C-1 IN SAANICH BYLAW

SCOPE OF WORK: TENANT IMPROVEMENT TO EXISTING PATIO, REARRANGEMENT OF EXISTING PARKING LAYOUT.

BUILDING AREA: 270 M² (2,906 SF)

SUITE AREA: EXISTING: 220 M² (2,370 SF) [EXCLUDING PATIO]

BUILDING HEIGHT: 1 STOREY

HIGH BUILDING (3.2.6.1): NO

NUMBER OF FACING STREETS: 2

SPRINKLERED: NO

BASE BUILDING DESCRIPTION: 3.2.2.28 GROUP A, DIVISION 2, ONE STOREY

COMBUSTIBLE OR NON-COMBUSTIBLE

PERMITTED CONSTRUCTION: COMMERCIAL TENANT IMPROVEMENTS TO EXISTING PATIO AREAS AND PARKING LOT

PROJECT DESCRIPTION: EXISTING: RESTAURANT OR BUSINESS & PERSONAL SERVICES] / (PROPOSED: RESTAURANT OR BUSINESS & PERSONAL SERVICES)

TYPE OF USE: EXISTING: GROUP A, DIVISION 2

TYPE OF OCCUPANCY: RESTAURANT, ASSEMBLY

ZONING TABLE

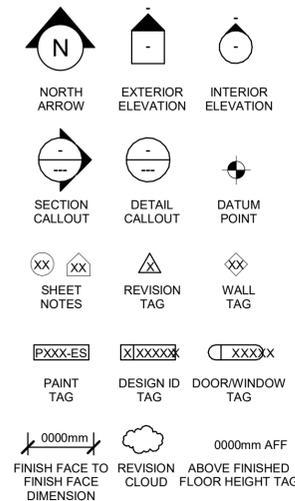
PROJECT ZONING STATISTICS - MCRAE'S PATIO RENOVATION

PROJECT ADDRESS		1652 MCRAE AVE			
LEGAL DESCRIPTION		LOT B, BLOCK 4, PLAN VIP1372, SECTION 35, VICTORIA LAND DISTRICT			
ZONING		SCHEDULE 801 : C-1 LOCAL COMMERCIAL ZONE			
ZONING DATA	EXISTING	REQUIRED	PROPOSED	VARIANCE	
801.1 USES PERMITTED	RESTAURANT	RESTAURANT	RESTAURANT		
801.2 PROHIBITED USES	NONE	PER 801.2	NONE		
801.6 SITE AREA	1,198 m ²	550 m ² MIN	1,198 m ²		
MAIN BUILDING (GROSS FLOOR AREA)	220 m ²		220 m ²		
ACCESSORY STRUCTURE 1 (WEST PATIO PERGOLA)	56.72 m ²		31.67 m ²		
ACCESSORY STRUCTURE 2 (SOUTH PATIO PERGOLA)	76.02 m ²		75.59 m ²		
801.3 DENSITY (BUILDINGS & STRUCTURES)	326.80 m ²		NO CHANGE		
801.4 BUILDING HEIGHT (RESTAURANT)	5.81 m	7.5 m MAX	5.81 m		
PATIO HEIGHT (WEST)	3.35 m	7.5 m MAX	3.35 m		
PATIO HEIGHT (SOUTH)	0.00 m	7.5 m MAX	3.35 m		
SETBACKS - MAIN BUILDING	EXISTING	REQUIRED	PROPOSED	VARIANCE	
801.4 WEST (SHELBOURNE)	3.70 m	7.50 m	3.70 m	3.80 m	
SOUTH (MCRAE AVE)	5.09 m	7.50 m	5.09 m	2.41 m	
INTERIOR SIDE (NORTH)	13.08 m	6.00 m	13.08 m		
REAR YARD (EAST)	9.75 m	7.50 m	9.75 m		
SETBACKS - ACCESSORY STRUCTURE 1 - WEST PATIO PERGOLA	EXISTING	REQUIRED	PROPOSED	VARIANCE	
801.4 WEST (SHELBOURNE)	0.00 m	7.50 m	0.00 m	7.50 m	
SOUTH (MCRAE AVE)	6.25 m	7.50 m	6.25 m	1.25 m	
INTERIOR SIDE (NORTH)	19.83 m	6.00 m	19.83 m		
SETBACKS - ACCESSORY STRUCTURE 2 - SOUTH PATIO PERGOLA	EXISTING	REQUIRED	PROPOSED	VARIANCE	
801.4 WEST (SHELBOURNE)	8.58 m	7.50 m	7.25 m	0.25 m	
SOUTH (MCRAE AVE)	0.00 m	7.50 m	0.00 m	7.50 m	
REAR YARD (EAST)	9.75 m	7.50 m	9.75 m		
PARKING	EXISTING	REQUIRED	PROPOSED	VARIANCE	
7.1 VEHICLE PARKING	17	22 MIN	18	4 STALLS	
12 REGULAR, 5 SMALL, 1 ACCESSIBLE					
7.4 BICYCLE PARKING	4	6	8		
4 CLASS 1, 4 CLASS 2					
8.1 OFF STREET LOADING STALL NOT REQUIRED					

ABBREVIATIONS

A.B	AIR BARRIER	MIN	MINIMUM
ADJ	ADJUSTIBLE	MTL	METAL
AFF	ABOVE FINISHED FLOOR	O/C	ON CENTER
ALUM	ALUMINUM	PERF	PERFORATED
AWM	AIR WEATHER MEMBRANE	PREF	PREFABRICATED
BTM	BOTTOM	PL	PROPERTY LINE
B/S	BOTH SIDES	PLYWD	PLYWOOD
CAB	CABINET	PT	PRESSURE TREATED R REVEAL
CB	CATCH BASIN	RD	ROOF DRAIN
CL	CENTRE-LINE	REV	REVERSE
CLG	CEILING	REQD	REQUIRED
CMU	CONCRETE MASONRY UNIT	RWL	RAIN WATER LEADER
CONC	CONCRETE	SAM	SELF-ADHERED MEMBRANE
CONT	CONTINUOUS	SIM	SIMILAR
C/W	COMPLETE WITH	SG	SAFETY GLASS
DIA	DIAMETER	SS	STAINLESS STEEL
DIM	DIMENSION	STL	STEEL
DN	DOWN	STRUX	STRUCTURAL
DTL	DETAIL	TBC	TO BE CONFIRMED
DW	DISH-WASHER	TBD	TO BE DETERMINED
DWG	DRAWING	T/O	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TOC	TOP OF CONCRETE
ELEV	ELEVATION	TYP	TYPICAL
EL	GRADE ELEVATION	U.N.O	UNLESS NOTED OTHERWISE
EQ	EQUAL	US	UNDERSIDE
EX	EXISTING GRADE	VB	VAPOUR BARRIER
EXT	EXTERIOR	W/	WITH
F	FRIDGE	W/O	WITHOUT
FD	FLOOR DRAIN		
GWB	GYPSUM WALL BOARD		
HGT	HEIGHT		
HWT	HOT WATER TANK		
INT	INTERIOR		
INT	INTERPOLATED GRADE (ON ELEVATION TAGS)		
MECH	MECHANICAL		
MEMB	MEMBRANE		

SYMBOL LEGEND



PROJECT NAME: MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT
 0001

PROJECT ADDRESS: 1652 MCRAE AVE

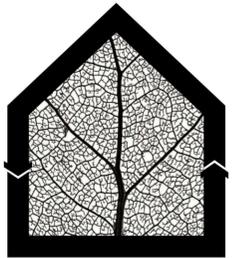
DESIGNED BY: LEIF GUSTAVSON
 ARCHITECTURAL TECHNOLOGIST A.I.B.C.
 LG@STUDIOLEAF.CA
 250 480 9439

ISSUE SCHEDULE			
#	DATE	BY	DESCRIPTION
	24/04/26	LG	FOR CLIENT REVIEW
	24/05/22	LG	ISSUED FOR DVP
	24/08/01	LG	DVP REVISION 1
	24/09/12	LG	COMMENTS REVIEW
	24/09/18	LG	ISSUED FOR DVP : COUNCIL

SHEET TITLE: PROJECT INFORMATION

SCALE: 1 : 50

SHEET NUMBER: A0.00



STUDIO LEAF.

B.C. LAND SURVEYOR'S SITE PLAN OF:

**LOT B (DD 3903501), BLOCK 4, SECTION 35,
VICTORIA DISTRICT, PLAN 1372**

SCALE:



All distances are in metres.
The intended plot size of this plan is 432mm in width
by 286mm in height (B size) when plotted at a scale of 1:250

Parcel Identification Number (PID)
007-505-370

SITE AREA

1237 m²

MUNICIPALITY

Saanich

CIVIC ADDRESS

1652 McRae Avenue
VICTORIA, BC

ZONING

C-1

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consent of the signatory

This document was prepared for the exclusive
use of our client, Michael Helm

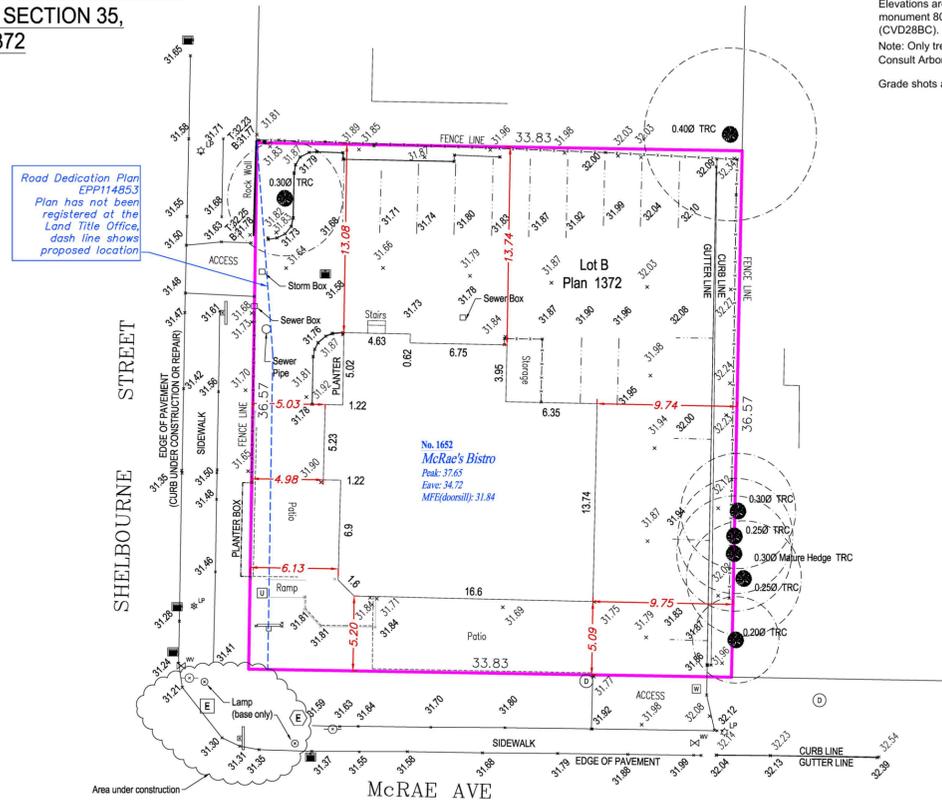
*This document is intended for use as a topographic plan.
It is based on Land Title Office records, and does not
represent a boundary survey. Critical lot dimensions
and areas must be confirmed by a proper cadastral survey.
Undersurface charges and covenant will not be shown on this
survey unless such documents are provided and can be shown in
two dimensional view.

Explorer Land Surveying Inc. accepts no responsibility
or liability for any damages that may be suffered
by a third party as a result of any decisions
made or actions taken based on this document.

FILE: 11925
DWGDATE: 11925-1652McRae 2024-03-13

PO Box 2146 WESTSHORE PO
Victoria, BC V8B 6K8
Tel: (250) 561-2237
email: kenseth@explorersurvey.com

Road Dedication Plan
EPP114853
Plan has not been
registered at the
Land Title Office.
dash line shows
proposed location



LEGEND

Elevations are geodetic based on Integrated survey
monument 80H1675 in Saanich at elevation 41.136m
(CVD28BC).

Note: Only trees with Trunk greater than 0.20m are identified.
Consult Arborist to verify tree species

Grade shots are taken at the point marked X

- - denotes Iron Post Found
- TRC - denotes Deciduous Tree Type
- CTC - denotes Coniferous Tree Type
- MT - denotes Multi-trunks
- WM - denotes water meter
- PL - denotes Power pole w/ lamp
- PP - denotes Power pole
- SG - denotes Sign
- UB - denotes unmarked box
- CB - denotes Catchbasin
- HB - denotes Hydro box
- EB - denotes Electrical box
- SM - denotes Storm manhole
- SMH - denotes Sanitary manhole
- WV - denotes Water valve
- RTW - denotes Retaining Wall (T=Top, B=Bottom)
- MFE - denotes Main Floor Elevation (Doorsill)

FLAT LOT, UNABLE TO CONTOUR

CERTIFIED CORRECT

Lot dimensions are correct
according to Land Title Office
records.

Kenneth KC Ng, BCLS
Field Survey - March 5, 2024
Dated this 14th of March, 2024.

This document is not valid unless originally signed
and sealed or digitally signed with Juricert digital signature.
Info: <https://www.juricert.com>

Unable to locate rear survey posts,
boundaries dimensions only accurate
to plus/minus 10cm

Duplicate Indefeasible Title Issued on
1985-03-22. File# P22973

1 SITE SURVEY
1 : 250

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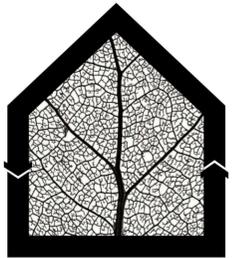
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24/09/18	LG		ISSUED FOR DVP : COUNCIL

SHEET TITLE:
SITE SURVEY

SCALE: 1 : 250

SHEET NUMBER:
A1.00

2024-10-22 3:46:46 PM



STUDIO LEAF.

PROJECT NAME:
MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT
0001

PROJECT ADDRESS:
1652 MCRAE AVE

DESIGNED BY: LEIF GUSTAVSON
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250 480 9439

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24/09/12	LG		COMMENTS REVIEW
24/09/18	LG		ISSUED FOR DVP : COUNCIL

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SHEET TITLE:
SITE PLAN

SCALE: 1 : 100

SHEET NUMBER:
A1.02

PARKING

REQUIRED = 22 STALLS
GFA = 220.2m² / 10m² PER STALL = 22.1 STALLS

PROPOSED = 18 STALLS
12 REGULAR CAR STALLS
5 SMALL CAR STALLS (27%)
1 ACCESSIBLE STALL

A PARKING VARIANCE OF 4 STALLS IS BEING REQUESTED

SIDEWALK IMPROVEMENTS ALONG MCRAE AVE IS REMOVING 5 STALLS

BIKE PARKING

REQUIRED = GFA = 220.2m² / 250m² PER STALL = 1 STALL
OR
REQUIRED = 6 STALLS MIN. (50% CLASS 1, 50% CLASS 2)

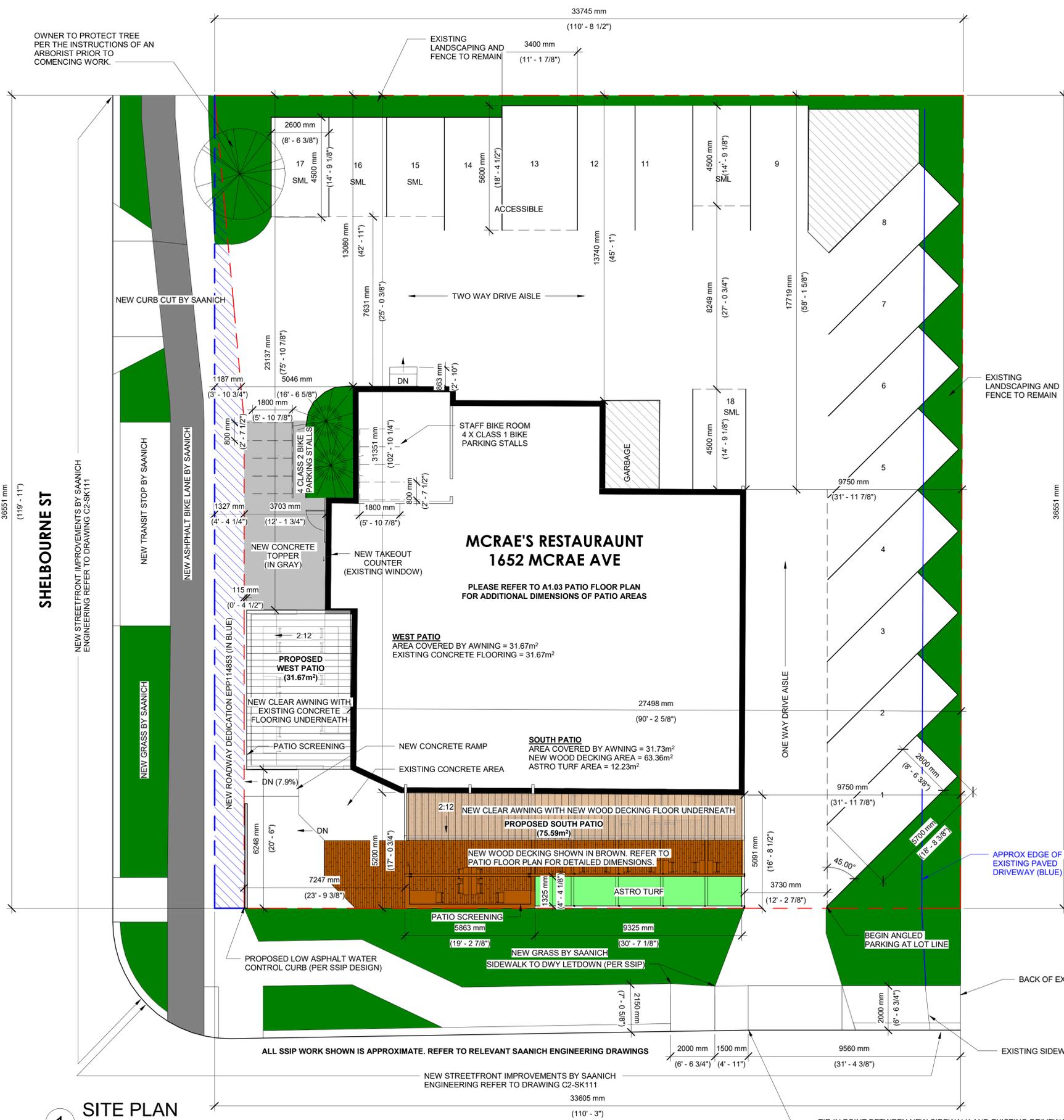
PROPOSED = 8 STALLS (50% CLASS 1, 50% CLASS 2)

OFF STREET LOADING

OFF STREET LOADING NOT REQUIRED

PROJECT ZONING STATISTICS - MCRAE'S PATIO RENOVATION

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12 REGULAR, 5 SMALL, 1 ACCESSIBLE				STALLS
7.4 BICYCLE PARKING	4	6	8	
4 CLASS 1, 4 CLASS 2				
8.1 OFF STREET LOADING STALL NOT REQUIRED				



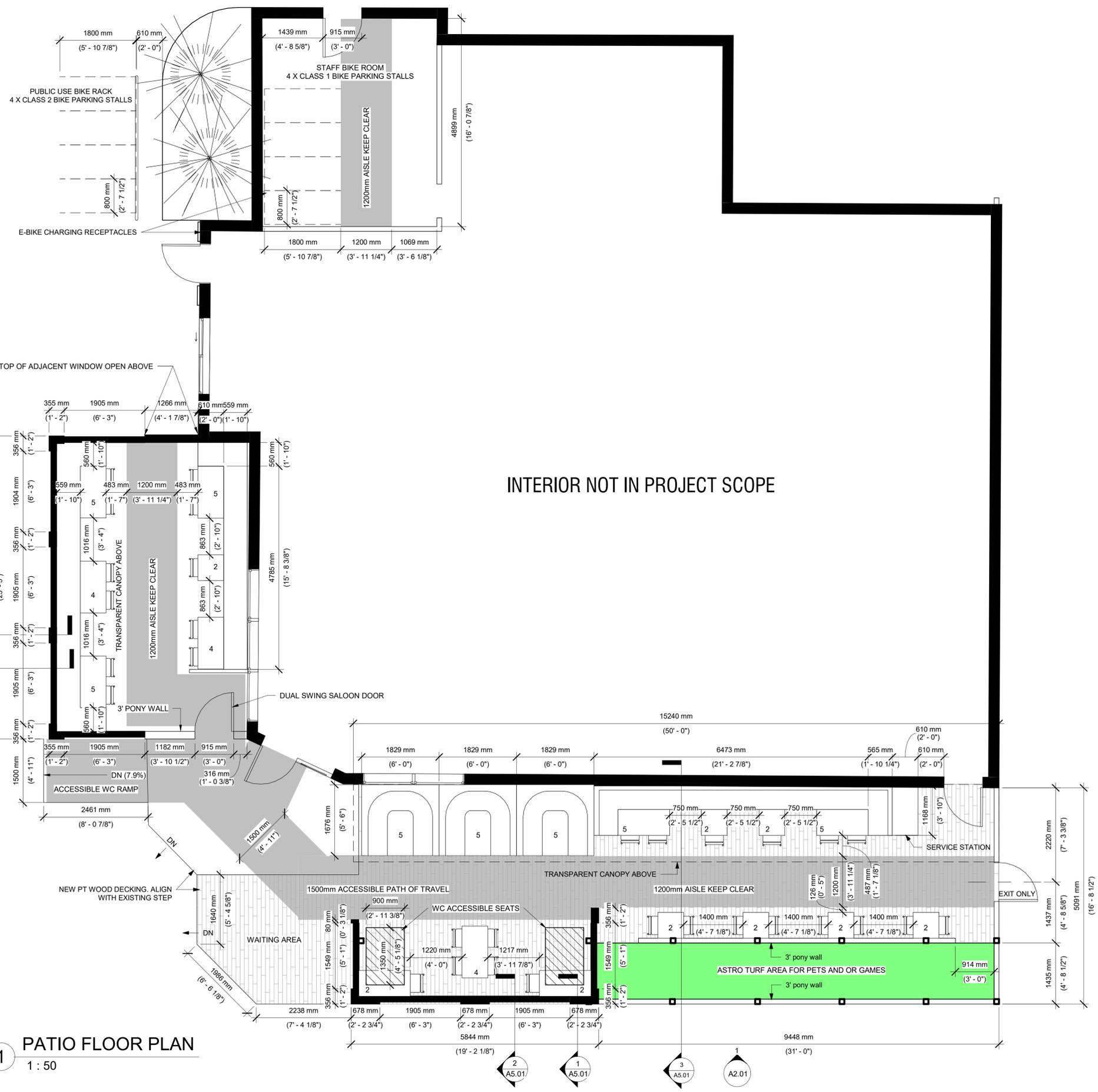
1 SITE PLAN
1 : 100

MCRAE AVE

TIE-IN POINT BETWEEN NEW SIDEWALK AND EXISTING DRIVEWAY LETDOWN. NEW SIDEWALK AND BARRIER CURB TO WEST AND EXISTING DRIVEWAY AND LETDOWN TO EAST (PER SSIIP DESIGN)
CURB AND DRIVEWAY MODIFICATIONS EAST OF TIE-IN POINT WILL REQUIRE DRIVEWAY ACCESS PERMIT APPLICATION.
WORK TO BE DONE BY SAANICH AT OWNERS EXPENSE.

2024-10-22 3:46:49 PM

THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM LEIF GUSTAVSON. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTILL IT HAS BEEN ISSUED FOR CONSTRUCTION BY LEIF GUSTAVSON. THE GENERAL CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO LEIF GUSTAVSON. DO NOT SCALE

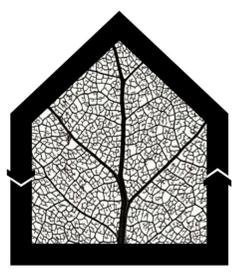


PATIO SEATING
PROPOSED = 70 SEATS
 37 FIXED
 31 NON-FIXED SEATING
 2 ACCESSIBLE SEATS

EXISTING = 100 SEATS
 27 PATIO ON SHELBOURNE ST
 73 TEMPORARY OUTDOOR EXPANSION ON MCRAE AVE

ALL SEATING TO MEET OR EXCEED CODE REQUIREMENTS OF 2.7.1.5 & 3.3.2.4

PATIO AREA
PROPOSED = 111m²
EXISTING = 141m²



STUDIO LEAF.

PROJECT NAME:
MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT
 0001

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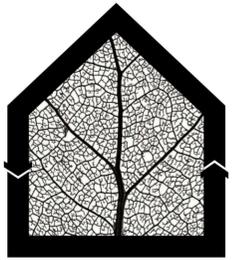
SHEET TITLE:
PATIO FLOOR PLAN

SCALE: 1 : 50

SHEET NUMBER:
A1.03

1 PATIO FLOOR PLAN
 1 : 50

2024-10-22 3:46:50 PM



STUDIO LEAF.



2 WEST PATIO ELEVATION
1:50



1 SOUTH PATIO ELEVATION
1:50

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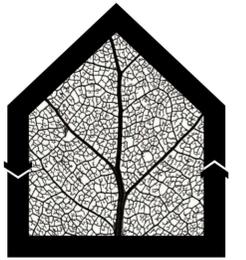
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SHEET TITLE:
ELEVATIONS

SCALE: 1:50

SHEET NUMBER:
A2.01

2024-10-22 3:46:51 PM



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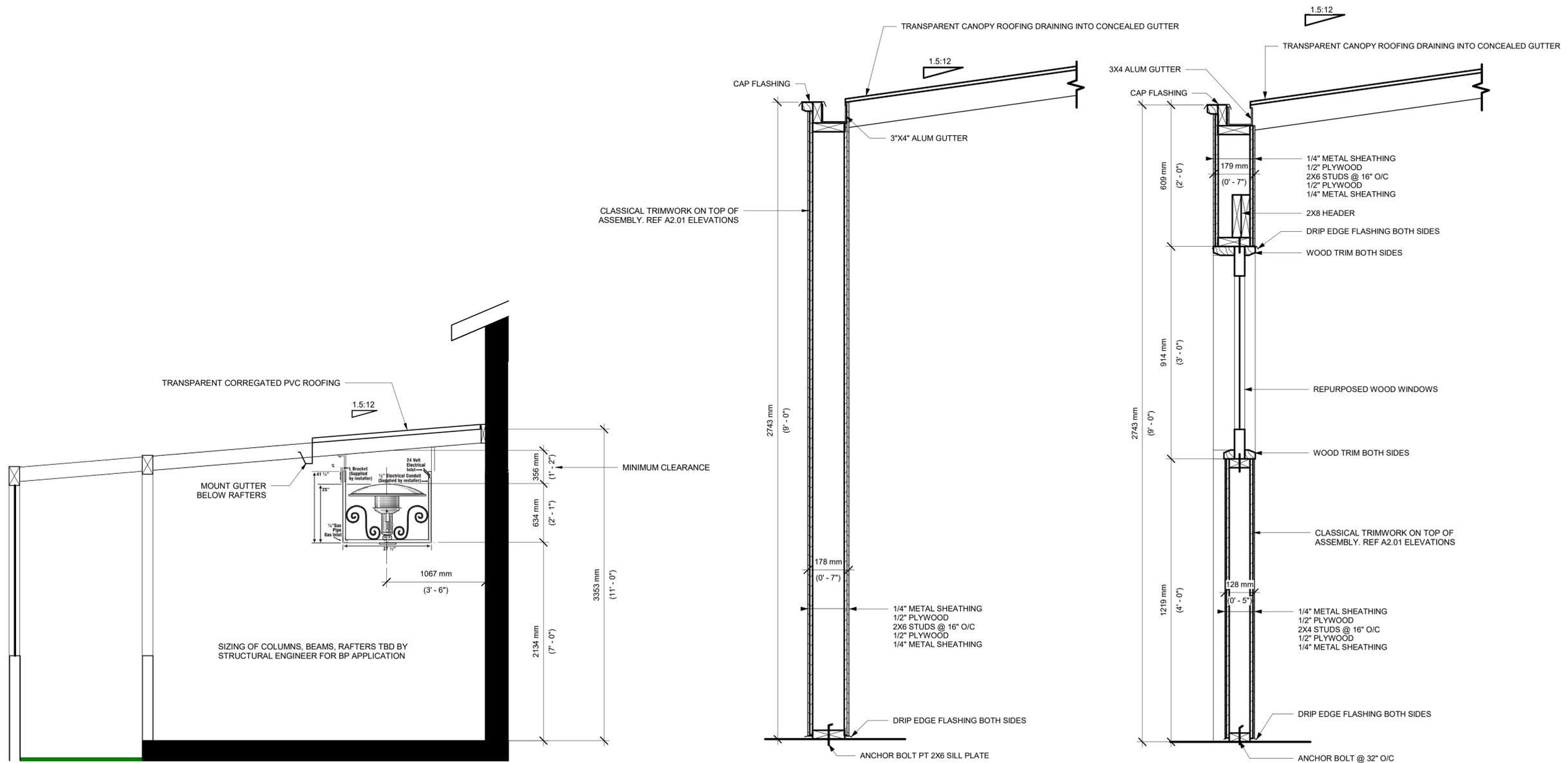
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24/09/12	LG		COMMENTS REVIEW
24/09/18	LG		ISSUED FOR DVP : COUNCIL

(YYMMDD)	
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SHEET TITLE: **DETAILS**

SCALE: As indicated

SHEET NUMBER:
A5.01

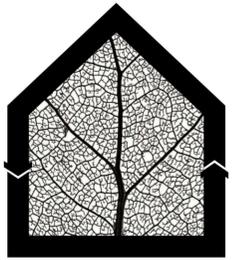


3 PATIO HEATER SECTION
1 : 25

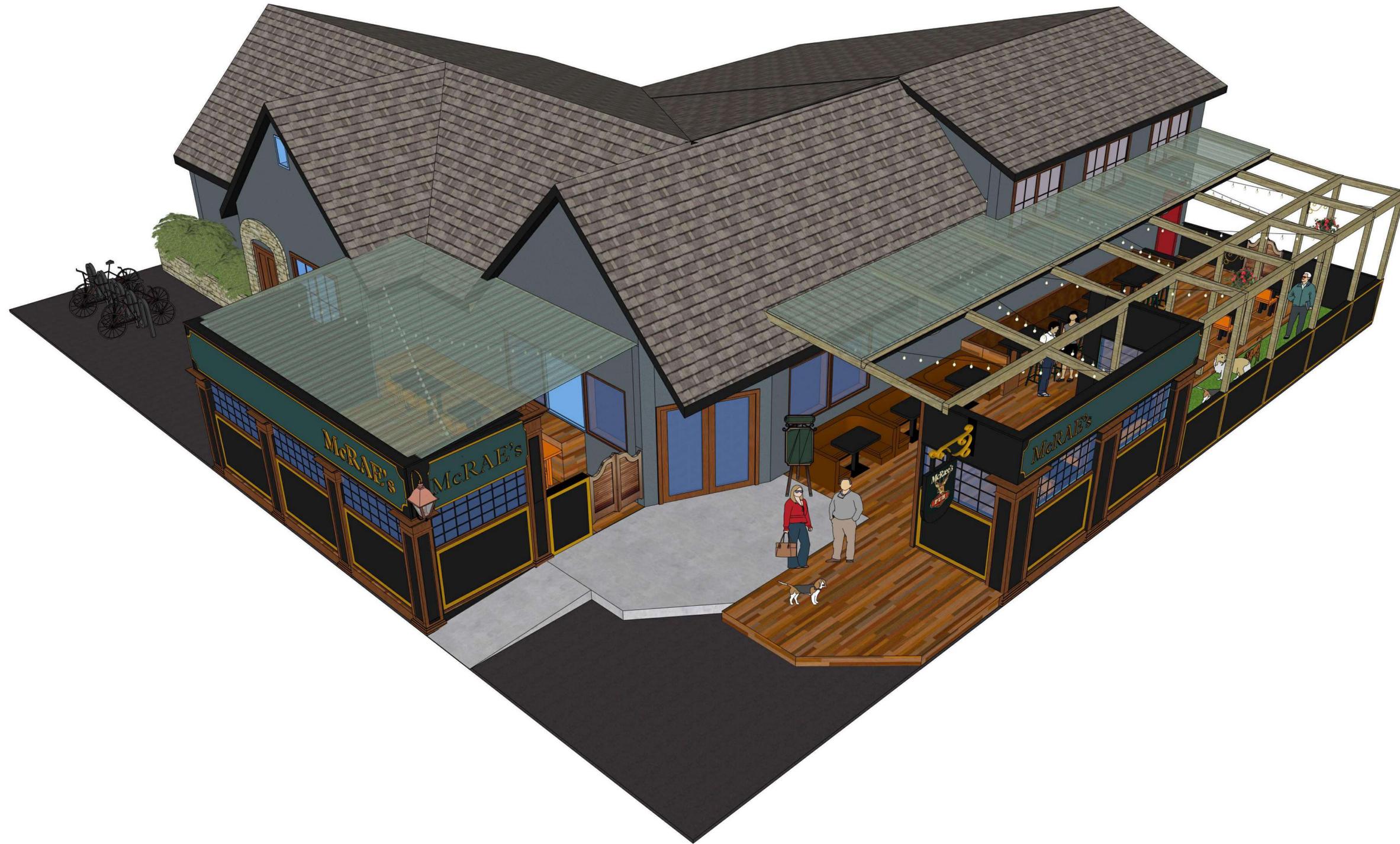
2 PATIO WALL SECTION 2
1 : 10

1 PATIO WALL SECTION 1
1 : 10

2024-10-22 3:46:51 PM



STUDIO LEAF.



PROJECT NAME:
MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT
 0001

PROJECT ADDRESS:
1652 MCRAE AVE

DESIGNED BY: LEIF GUSTAVSON
 ARCHITECTURAL TECHNOLOGIST A.I.B.C.
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 250.480.9439

ISSUE SCHEDULE			
#	DATE	BY	DESCRIPTION
	24/04/26	LG	FOR CLIENT REVIEW
	24/05/22	LG	ISSUED FOR DVP
	24/08/01	LG	DVP REVISION 1
	24/09/12	LG	COMMENTS REVIEW
	24/09/18	LG	ISSUED FOR DVP : COUNCIL

(YYYYMMDD)

SHEET TITLE:
RENDERINGS

SCALE:

SHEET NUMBER:
A9.01

2024-10-22 3:46:51 PM