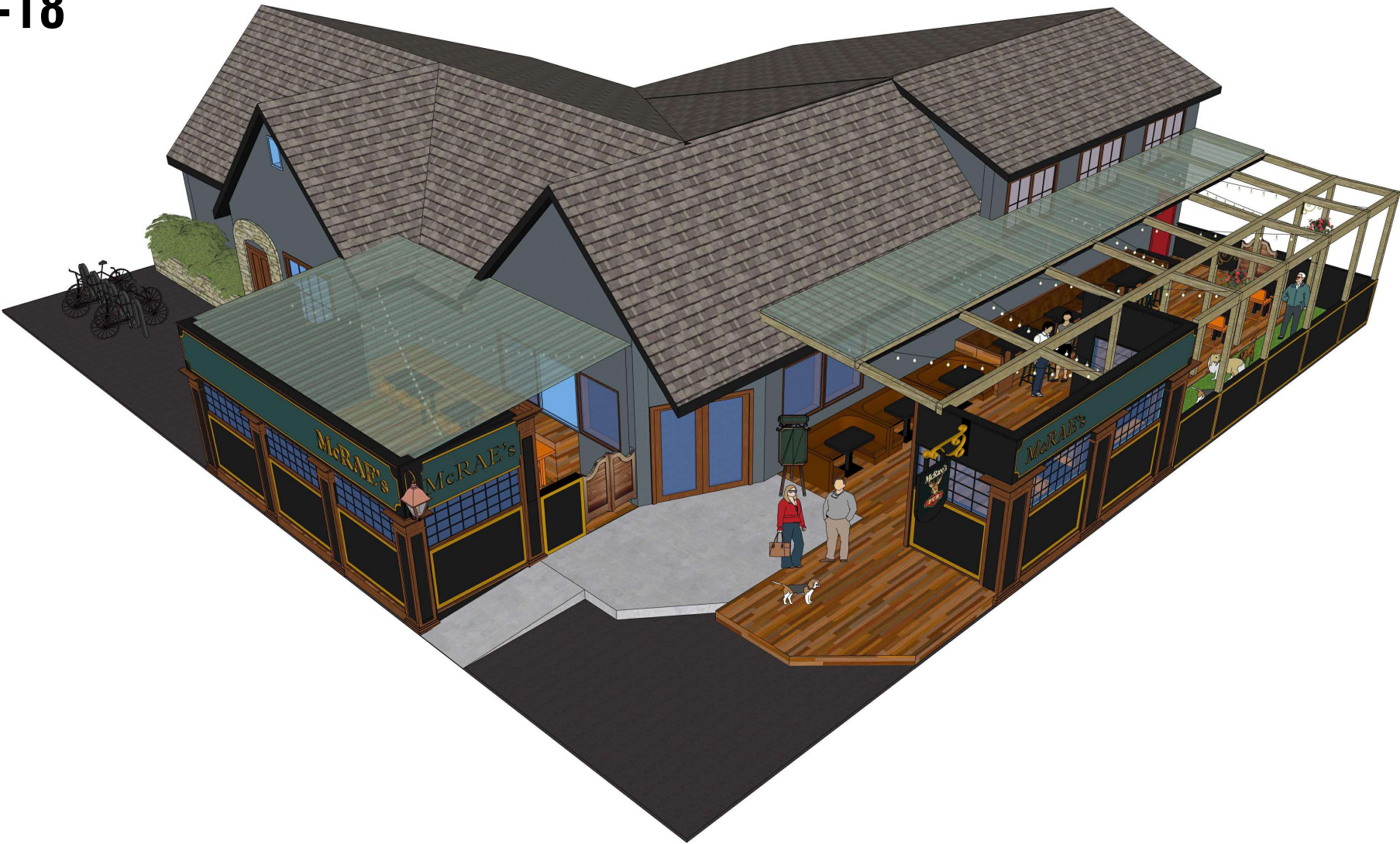


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MCRAE'S PATIO RENOVATION
ISSUED FOR DEVELOPMENT VARIANCE PERMIT : COUNCIL MEETING
ISSUED DATE 2024-09-18



PROJECT LOCATION

ADDRESS: 1652 McRae Ave, Victoria BC V8P 1H3
LEGAL DESCRIPTION: LOT B, BLOCK 4, PLAN VIP1372, SECTION 35, VICTORIA LAND DISTRICT
PID: 007-505-370



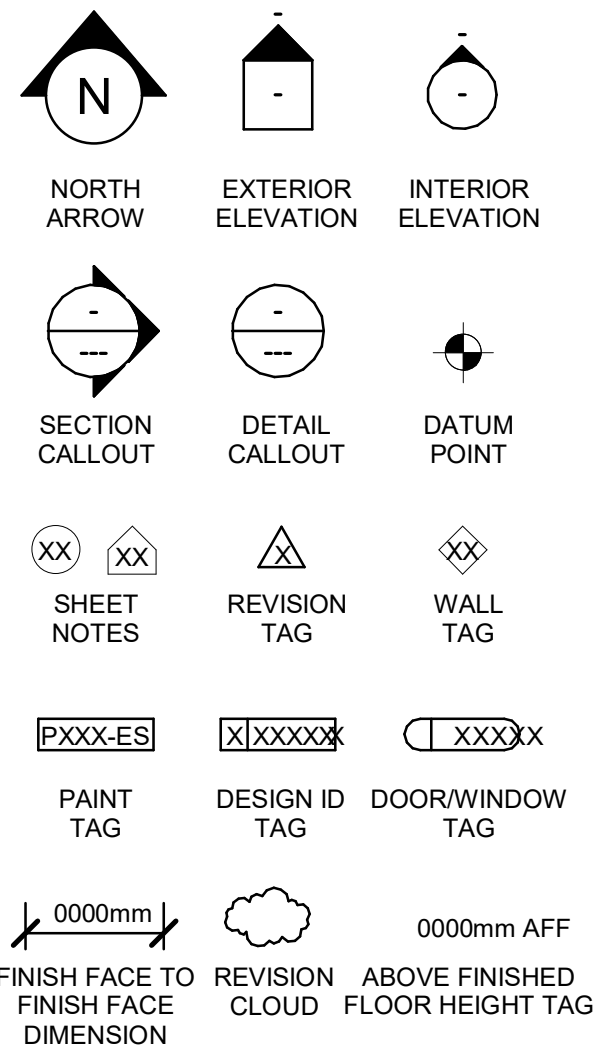
ABBREVIATIONS

A.B	AIR BARRIER	MIN	MINIMUM
ADJ	ADJUSTIBLE	MTL	METAL
AFF	ABOVE FINISHED FLOOR	O/C	ON CENTER
ALUM	ALUMINUM	PERF	PERFORATED
AWM	AIR/ WEATHER MEMBRANE	PRF	PREFABRICATED
BTM	BOTTOM	PL	PROPERTY LINE
B/S	BOTH SIDES	PLYWD	PLYWOOD
CAB	CABINET	PT	PRESSURE TREATED R REVEAL
CB	CATCH BASIN	RD	ROOF DRAIN
CL	CENTRE-LINE	REV	REVERSE
CLG	CEILING	REQD	REQUIRED
CMU	CONCRETE MASONRY UNIT	RWL	RAIN WATER LEADER
CONC	CONCRETE	SAM	SELF-ADHERED MEMBRANE
CONT	CONTINUOUS	SIM	SIMILAR
C/W	COMPLETE WITH	SG	SAFETY GLASS
DIA	DIAMETER	SS	STAINLESS STEEL
DIM	DIMENSION	STL	STEEL
DN	DOWN	STRUX	STRUCTURAL
DTL	DETAIL	TBC	TO BE CONFIRMED
DW	DISH-WASHER	TBD	TO BE DETERMINED
DWG	DRAWING	T/O	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TOC	TOP OF CONCRETE
ELEV	ELEVATION	TYP	TYPICAL
EL	GRADE ELEVATION	U.N.O	UNLESS NOTED OTHERWISE
EQ	EQUAL	U/S	UNDERSIDE
EX	EXISTING GRADE	VB	VAPOUR BARRIER
EXT	EXTERIOR	W/	WITH
F	FRIDGE	W/O	WITHOUT
FD	FLOOR DRAIN		
GWB	GYPSPUM WALL BOARD		
HGT	HEIGHT		
HWT	HOT WATER TANK		
INT	INTERIOR		
INT	INTERPOLATED GRADE (ON ELEVATION TAGS)		
MECH	MECHANICAL		
MEMB	MEMBRANE		

PROJECT INFORMATION

APPLICABLE BUILDING CODE:	BRITISH COLUMBIA BUILDING CODE 2024
ZONING:	C-1 IN SAANICH BYLAW
SCOPE OF WORK:	TENANT IMPROVEMENT TO EXISTING PATIO, REARRANGEMENT OF EXISTING PARKING LAYOUT.
BUILDING AREA:	270 M ² (2,906 SF)
SUITE AREA:	EXISTING: 220 M ² (2,370 SF) [EXCLUDING PATIO]
BUILDING HEIGHT:	1 STOREY
HIGH BUILDING (3.2.6.1):	NO
NUMBER OF FACING STREETS:	2
SPRINKLERED:	NO
BASE BUILDING DESCRIPTION:	3.2.2.28 GROUP A, DIVISION 2, ONE STOREY COMBUSTIBLE OR NON-COMBUSTIBLE
PERMITTED CONSTRUCTION:	COMMERCIAL TENANT IMPROVEMENTS TO EXISTING PATIO AREAS AND PARKING LOT
PROJECT DESCRIPTION:	EXISTING: RESTAURANT OR BUSINESS & PERSONAL SERVICES] / (PROPOSED: RESTAURANT OR BUSINESS & PERSONAL SERVICES)
TYPE OF USE:	EXISTING: GROUP A, DIVISION 2
TYPE OF OCCUPANCY:	RESTAURANT, ASSEMBLY

SYMBOL LEGEND



GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. NO ALLOWANCES WILL BE MADE FOR ADDITIONAL COSTS AND NO CLAIMS WILL BE ENTERAINED IN CONNECTION WITH CONDITIONS WHICH COULD REASONABLY HAVE BEEN ASCERTAINED BY SUCH INVESTIGATION OR OTHER DUE DILIGENCE PRIOR TO SUBMITTING A BID.
- GENERAL CONTRACTOR SHALL CONSULT WITH THE DESIGNER AND THE CLIENT TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, PROVINCIAL, AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING ANY WORK.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY THE DESIGNER AND/OR THE APPROPRIATE CONSULTANT OF RECORD OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. FOR RENOVATIONS ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES DAMAGED DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS "AS-BUILT" SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S CLOSE OUT DOCUMENTS PACKAGE. COPIES OF THE CLOSE OUT DOCUMENTS PACKAGE TO BE PROVIDED TO THE DESIGNER AND THE OWNER.
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL" SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE DESIGNER OR THE CLIENT.
- GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS, SAMPLES AND SUBMITTALS AS REQUIRED BY SPECIFICATIONS AND CONTRACT. SUBMITTALS TO BE MARKED UP TO INDICATE ALL OPTIONS, MODELS, QUANTITIES, ACCESSORIES AND OTHER REQUIREMENTS AS APPLICABLE TO THE PROJECT. GENERAL CONTRACTOR MAY REQUEST A LIST OF SHOP DRAWINGS REQUIRED THROUGH THE DESIGNER AT ANY TIME.
- ALL ISSUED CCNS AND SIS ARE TO BE ON SITE AND REFERENCED ON CONSTRUCTION DRAWINGS.
- GENERAL CONTRACTOR TO ENGAGE A SUPPORTING REGISTERED PROFESSIONAL WHEN THE SCOPE OF WORK REQUIRES ADDITIONAL ENGINEERING.

ZONING TABLE

PROJECT ZONING STATISTICS - MCRAE'S PATIO RENOVATION

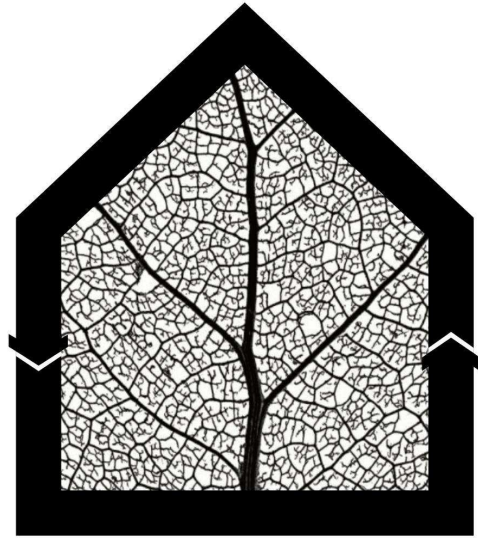
PROJECT ADDRESS	1652 MCRAE AVE			
LEGAL DESCRIPTION	LOT B, BLOCK 4, PLAN VIP1372, SECTION 35, VICTORIA LAND DISTRICT			
ZONING	SCHEDULE 801 : C-1 LOCAL COMMERCIAL ZONE			
ZONING DATA	EXISTING	REQUIRED	PROPOSED	VARIANCE
801.1 USES PERMITTED	RESTAURANT		RESTAURANT	
801.2 PROHIBITED USES	NONE		NONE	
801.6 SITE AREA	1,198 m ²	550 m ² MIN	1,198 m ²	
MAIN BUILDING (GROSS FLOOR AREA)	220 m ²		220 m ²	
ACCESSORY STRUCTURE 1 (WEST PATIO PERGOLA)	56.72 m ²		31.67 m ²	
ACCESSORY STRUCTURE 2 (SOUTH PATIO PERGOLA)	76.02 m ²		75.59 m ²	
801.3 DENSITY (BUILDINGS & STRUCTURES)	326.80 m ²		NO CHANGE	
801.4 BUILDING HEIGHT (RESTAURANT)	5.81 m	7.5 m MAX	5.81 m	
PATIO HEIGHT (WEST)	3.35 m	7.5 m MAX	3.35 m	
PATIO HEIGHT (SOUTH)	0.00 m	7.5 m MAX	3.35 m	
SETBACKS - MAIN BUILDING	EXISTING	REQUIRED	PROPOSED	VARIANCE
801.4 WEST (SHELBOURNE)	3.70 m	7.50 m	3.70 m	3.80 m
SOUTH (MCRAE AVE)	5.09 m	7.50 m	5.09 m	2.41 m
INTERIOR SIDE (NORTH)	13.08 m	6.00 m	13.08 m	
REAR YARD (EAST)	9.75 m	7.50 m	9.75 m	
SETBACKS - ACCESSORY STRUCTURE 1 - WEST PATIO PERGOLA	EXISTING	REQUIRED	PROPOSED	VARIANCE
801.4 WEST (SHELBOURNE)	0.00 m	7.50 m	0.00 m	7.50 m
SOUTH (MCRAE AVE)	6.25 m	7.50 m	6.25 m	1.25 m
INTERIOR SIDE (NORTH)	19.83 m	6.00 m	19.83 m	
SETBACKS - ACCESSORY STRUCTURE 2 - SOUTH PATIO PERGOLA	EXISTING	REQUIRED	PROPOSED	VARIANCE
801.4 WEST (SHELBOURNE)	8.58 m	7.50 m	7.25 m	0.25 m
SOUTH (MCRAE AVE)	0.00 m	7.50 m	0.00 m	7.50 m
REAR YARD (EAST)	9.75 m	7.50 m	9.75 m	
PARKING	EXISTING	REQUIRED	PROPOSED	VARIANCE
7.1 VEHICLE PARKING	17	22 MIN	18	4 STALLS
12 REGULAR, 5 SMALL, 1 ACCESSIBLE				
7.4 BICYCLE PARKING	4	6	8	
4 CLASS 1, 4 CLASS 2				
8.1 OFF STREET LOADING STALL NOT REQUIRED				

SHEET LIST

SHEET NUMBER	SHEET NAME
A0.00	PROJECT INFORMATION
A1.00	SITE SURVEY
A1.01	ROADWAY DEDICATION SURVEY
A1.02	SITE PLAN
A1.03	PATIO FLOOR PLAN
A1.04	PATIO RCP
A1.05	DUMED DOWN SITE PLAN
A2.01	ELEVATIONS
A5.01	DETAILS
A9.01	RENDERINGS

CONTACT INFORMATION

OWNER:	LANA CHEN (CONTACT PROPERTY MANAGER KEN FETHERBY) kleatherby@naicommercial.ca 250 888 1360
RESTAURANT OWNER:	MICHAEL HELM michaeljordanhelm@gmail.com 250 885 2739
ARCHITECTURAL TECHNOLOGIST:	LEIF GUSTAVSON LG@STUDIOLEAF.CA 250 480 9439



STUDIO LEAF.

PROJECT NAME:
MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT
0001

PROJECT ADDRESS:
1652 MCRAE AVE

DESIGNED BY: LEIF GUSTAVSON
ARCHITECTURAL TECHNOLOGIST A.I.B.C.
LG@STUDIOLEAF.CA
250 480 9439

ISSUE SCHEDULE

#	DATE	BY	DESCRIPTION
24/04/26	LG		FOR CLIENT REVIEW
24/05/22	LG		ISSUED FOR DVP
24/08/01	LG		DVP REVISION 1
24/09/12	LG		COMMENTS REVIEW
24/09/18	LG		ISSUED FOR DVP : COUNCIL

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PROJECT
INFORMATION

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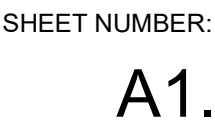
1652 MCRAE AVE

250 480 9439

YY/MM/DD:


SITE SURVEY

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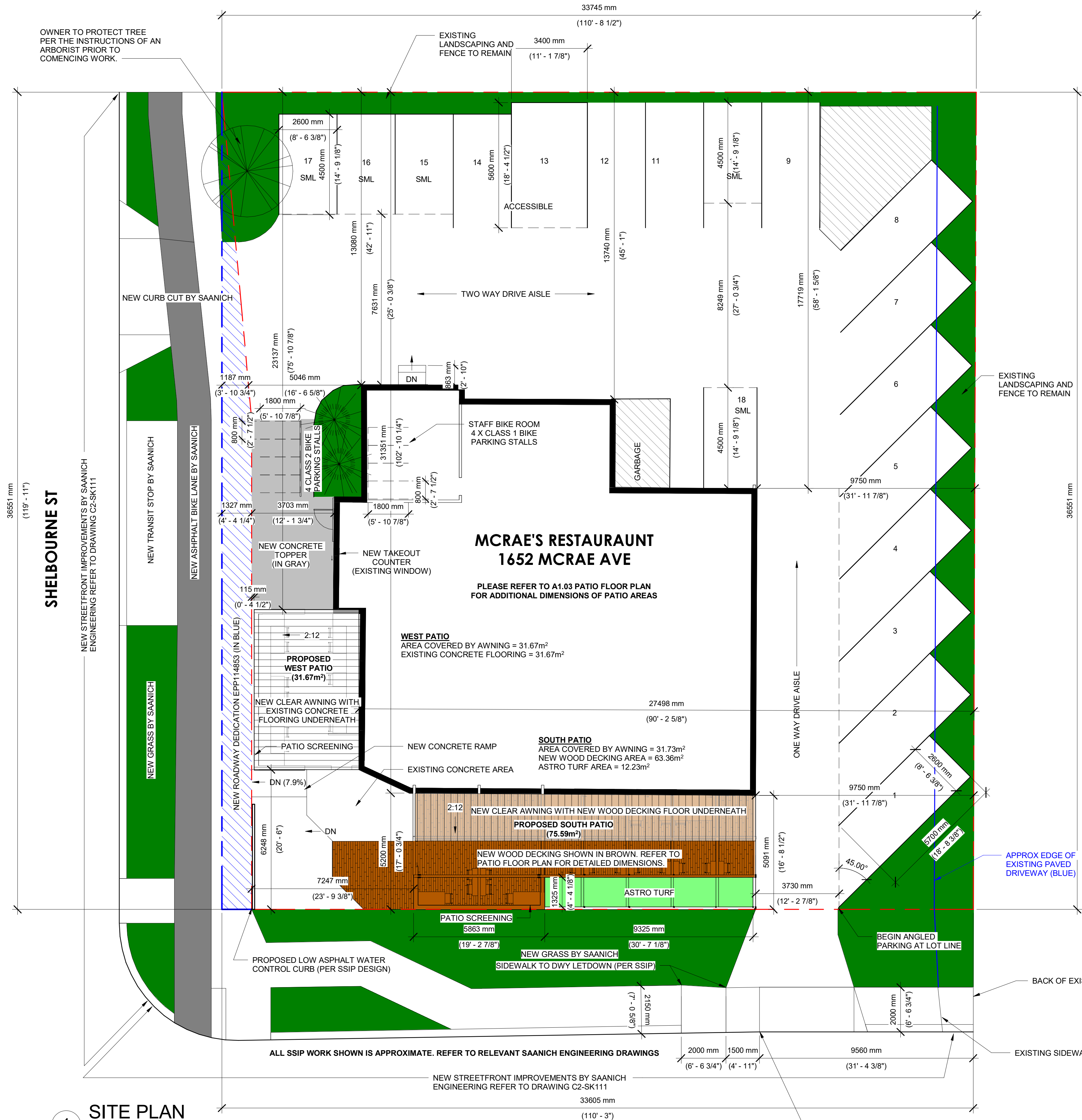


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PARKING

REQUIRED = 22 STALLS
GFA = 220.2m² / 10m² PER STALL = 22.1 STALLS

PROPOSED = 18 STALLS
12 REGULAR CAR STALLS
5 SMALL CAR STALLS (27%)
1 ACCESSIBLE STALL

A PARKING VARIANCE OF 4 STALLS IS BEING REQUESTED

SIDEWALK IMPROVEMENTS ALONG MCRAE AVE IS REMOVING 5 STALLS

BIKE PARKING

REQUIRED = GFA = 220.2m² / 250m² PER STALL = 1 STALL
OR
REQUIRED = 6 STALLS MIN. (50% CLASS 1, 50% CLASS 2)

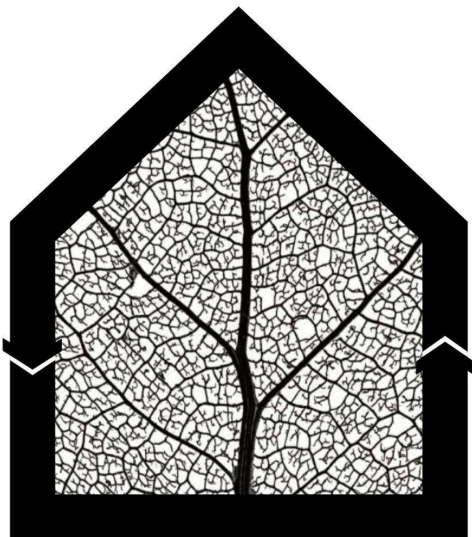
PROPOSED = 8 STALLS (50% CLASS 1, 50% CLASS 2)

OFF STREET LOADING

OFF STREET LOADING NOT REQUIRED

PROJECT ZONING STATISTICS - MCRAE'S PATIO RENOVATION

PROJECT ADDRESS	1652 MCRAE AVE			
LEGAL DESCRIPTION	LOT B, BLOCK 4, PLAN VIP1372, SECTION 35, VICTORIA LAND DISTRICT			
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INTERIOR SIDE (NORTH)	19.83 m	6.00 m	19.83 m	
SETBACKS - ACCESSORY STRUCTURE 2 - SOUTH PATIO PERGOLA	EXISTING	REQUIRED	PROPOSED	VARIANCE
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SOUTH (MCRAE AVE)	0.00 m	7.50 m	0.00 m	7.50 m
REAR YARD (EAST)	9.75 m	7.50 m	9.75 m	
PARKING	EXISTING	REQUIRED	PROPOSED	VARIANCE
7.1 VEHICLE PARKING	17	22 MIN	18	4 STALLS
12 REGULAR, 5 SMALL, 1 ACCESSIBLE				
7.4 BICYCLE PARKING	4	6	8	
4 CLASS 1, 4 CLASS 2				
8.1 OFF STREET LOADING STALL NOT REQUIRED				



STUDIO LEAF.

PROJECT NAME:
MCRAE'S PATIO AND STREET IMPROVEMENT PROJECT

0001

PROJECT ADDRESS:
1652 MCRAE AVE

DESIGNED BY: LEIF GUSTAVSON
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ISSUE SCHEDULE

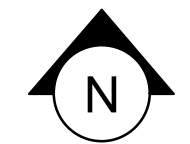
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24/05/22	LG		ISSUED FOR DVP
24/08/01	LG		DVP REVISION 1
24/09/12	LG		COMMENTS REVIEW
24/09/18	LG		ISSUED FOR DVP : COUNCIL

SHEET TITLE:

SITE PLAN

SCALE:

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SHEET NUMBER:

A1.02

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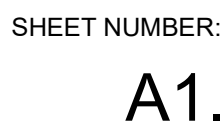
EXISTING = 141m²



DESIGNED BY: LEIF GUSTAVSON
ARCHITECTURAL TECHNOLOGIST A.I.B.C.
LG@STUDIOLEAF.CA
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PATIO FLOOR PLAN

1 : 50





0001

PROJECT ADDRESS:

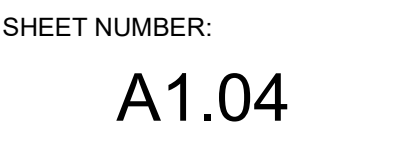
1652 MCRAE AVE

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SHEET TITLE:

PATIO RCP

1 : 50





PROJECT ADDRESS:
1652 MCRAE AVE

DESIGNED BY: LEIF GUSTAVSON
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250 480 9439

ISSUE SCHEDULE			
#	DATE	BY	DESCRIPTION
	24/04/26	LG	FOR CLIENT REVIEW
	24/05/22	LG	ISSUED FOR DVP
	24/08/01	LG	DVP REVISION 1
	24/09/12	LG	COMMENTS REVIEW
	24/09/18	LG	ISSUED FOR DVP : COUNCIL
(YY/MM/DD)			

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A2.01



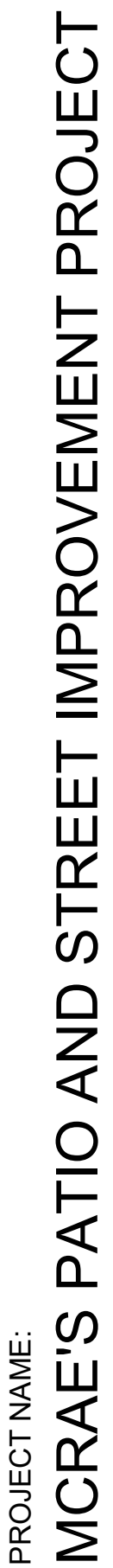
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1652 MCRAE AVE

250 480 9439

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SCALE:		As indicated	
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0001

PROJECT ADDRESS:
1652 MCRAE AVE

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SHEET TITLE: **RENDERINGS**

SCALE:

SHEET NUMBER:

A9.01