

DRAWING LIST

ARCHITECTURAL

- A0.1 CONTEXT PLAN
- A0.2 SURVEY
- A1.0 SITE PLAN
- A2.0 FLOOR PLAN - PARKADE
- A2.1 FLOOR PLAN - WAREHOUSE
- A2.2 FLOOR PLAN - LEVEL 1
- A2.3 FLOOR PLAN - LEVEL 2
- A2.4 ROOF PLAN
- A4.0 BUILDING ELEVATIONS
- A4.1 BUILDING ELEVATIONS
- A4.3 STREET ELEVATIONS
- A4.4 BUILDING SECTIONS
- A4.5 SUN STUDY
- A5.0 MATERIALS BOARD
- A5.1 PERSPECTIVES
- A5.2 PERSPECTIVES

LANDSCAPE

- L1 LANDSCAPE PLAN
- L2 PLANTING LEGEND AND NOTES

CIVIL

- C01 SITE AND SERVICING PLAN

PROJECT TEAM

**OWNER**  
CHRISTOPHER ESTATES LTD  
1162 FORT STREET  
VICTORIA, BC V8V 3K8

Chris Denford, Director

**CLIENT**  
BERWICK RETIREMENT COMMUNITIES  
1162 FORT STREET  
VICTORIA, BC V8V 3K8

Chris Denford, President

**ARCHITECT**  
LOW HAMMOND ROWE ARCHITECTS INC  
SUITE 300 - 1590 CEDAR HILL CROSS ROAD  
VICTORIA, BC V8P 2P5

Jackson Low, Architect AIBC  
250.472.8013 x101 | Jackson.Low@lhra.ca

Selena Kwok, Architect AIBC  
250.472.8013 x 208 | SelenaKwok@lhra.ca

**LANDSCAPE**  
~~Macdonald~~ Gray Consultants Inc.  
Cara MacDonald, MBCSLA  
Owner / Principal Landscape Architect  
Tel. 250.248.3089  
Cel. 250.927.3781  
E. cara@macdonaldgray.ca

**CIVIL**  
On Point Project Engineers Ltd.  
Frank Copley, ASCT  
Senior Civil Technologist  
Direct 250.900.0305  
Mobile 250.888.0250

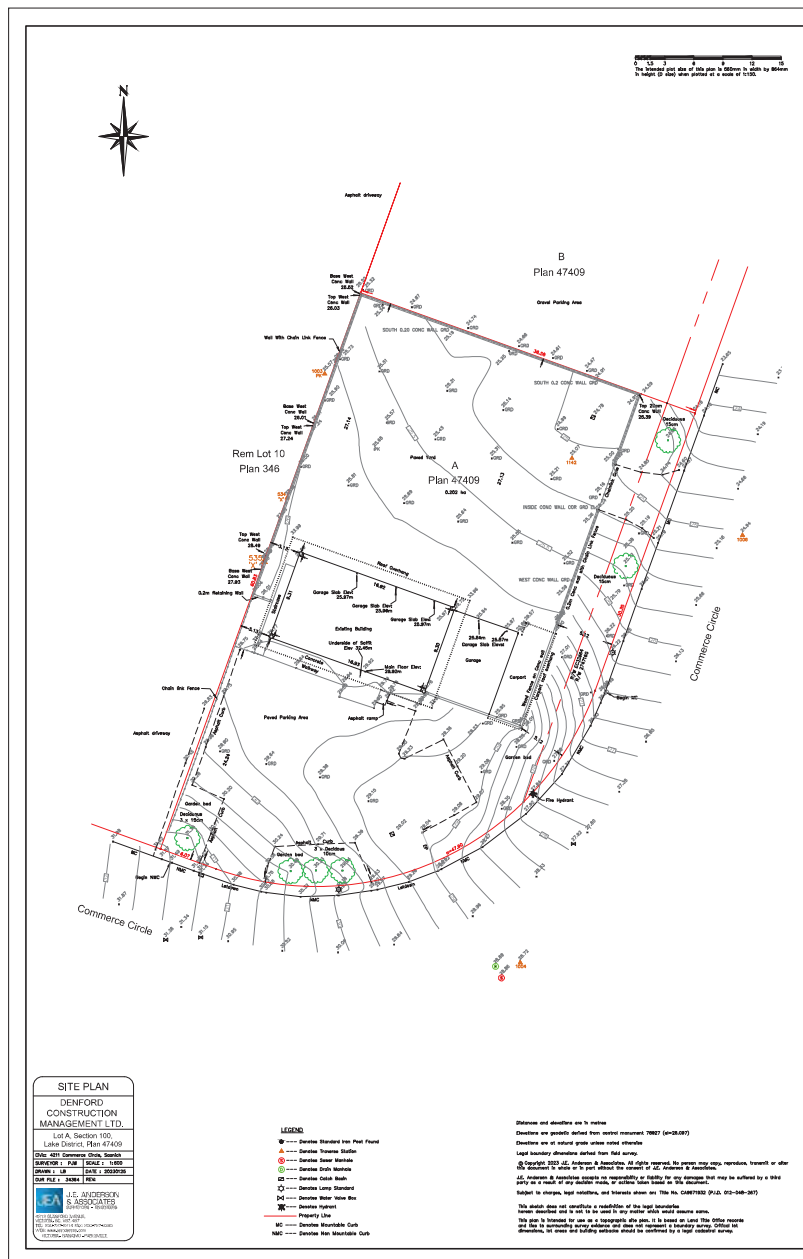


ISSUED FOR: DP RESUBMISSION  
July 22, 2024

**BERWICK RETIREMENT COMMUNITIES HQ**  
4211 Commerce Circle



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No.	Date	Revision
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B 2024-07-22 ISSUED FOR DP REVISIONS  
A 2023-11-07 ISSUED FOR DP SUBMISSION

No	Date	Issued
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**BERWICK**  
RETIREMENT  
COMMUNITIES

## HQ for Berwick Retirement Communities

4211 Commerce Circle

Date 220326

020325

19.16

Group Title

## Survey

Shed number

Λ0 2

## A0.2

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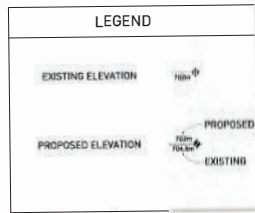
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Plot date

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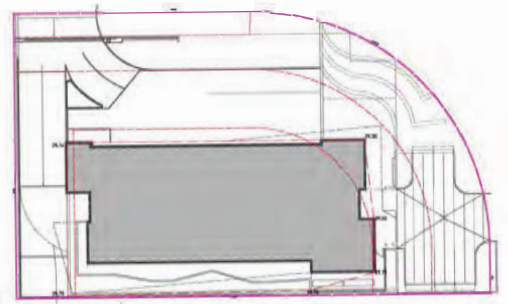




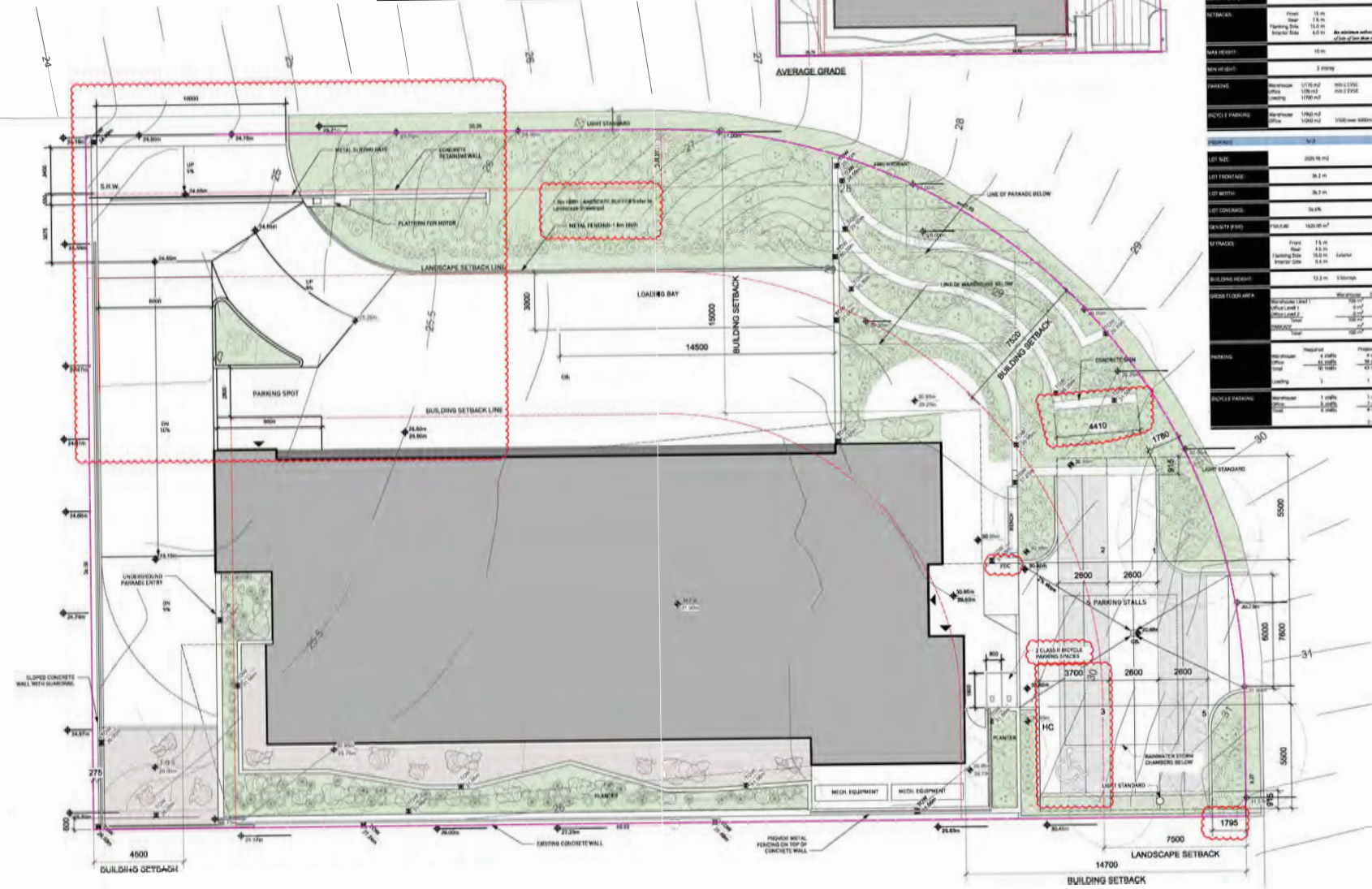
AVERAGE GRADE CALCULATION:

25.73  
25.14  
29.38  
29.08  
29.73  
22.33  
158.17 / 6 = 26.36m NATURAL AVERAGE GRADE

26.36m + 10m = 36.36m max. building height



PROJECT DATA - 4211 Commerce Circle		
PROJECT NO.	2024-07-02	Project No.
OWNER	Low Hammond Rowe Architects	Client
LEGAL		
TOTAL AREA	2000 m <sup>2</sup>	2000 m <sup>2</sup>
CONCRETE/STRUCTURE		
MIN LOT SIZE	4000 m <sup>2</sup>	
MIN LOT FRONTAGE	100 m	
MIN LOT WIDTH	30.0 m	
LOT COVERAGE	50.0 %	
SETBACK (F) 100	1.00	
SETBACK (F) 100		
Front	15.0 m	
Side	15.0 m	
Rear	15.0 m	
Minimum setback may be reduced to 4 m on one side only in the case of lots of less than 4000 m <sup>2</sup> and 1000 m <sup>2</sup> in lots		
DATA HE 0411		
MIN LOT SIZE	4000 m <sup>2</sup>	
MIN LOT FRONTAGE	100 m	
MIN LOT WIDTH	30.0 m	
LOT COVERAGE	50.0 %	
SETBACK (F) 100	1.00	
SETBACK (F) 100		
Front	15.0 m	
Side	15.0 m	
Rear	15.0 m	
Minimum setback may be reduced to 4 m on one side only in the case of lots of less than 4000 m <sup>2</sup> and 1000 m <sup>2</sup> in lots		
CYCLE PARKING		
Area	1000 m <sup>2</sup>	1000 m <sup>2</sup>
Area	1000 m <sup>2</sup>	1000 m <sup>2</sup>
FINISHES		
LOT NO.	2000 m <sup>2</sup>	
LOT FRONTAGE	100 m	
LOT WIDTH	30.0 m	
LOT COVERAGE	50.0 %	
SETBACK (F) 100	1.00	
FINISHES		
Front	15.0 m	
Side	15.0 m	
Rear	15.0 m	
Minimum setback may be reduced to 4 m on one side only in the case of lots of less than 4000 m <sup>2</sup> and 1000 m <sup>2</sup> in lots		
BUILDING HEIGHT		
MIN LOT SIZE	4000 m <sup>2</sup>	
MIN LOT FRONTAGE	100 m	
MIN LOT WIDTH	30.0 m	
LOT COVERAGE	50.0 %	
SETBACK (F) 100	1.00	
SETBACK (F) 100		
Front	15.0 m	
Side	15.0 m	
Rear	15.0 m	
Minimum setback may be reduced to 4 m on one side only in the case of lots of less than 4000 m <sup>2</sup> and 1000 m <sup>2</sup> in lots		
CYCLE PARKING		
Area	1000 m <sup>2</sup>	1000 m <sup>2</sup>
Area	1000 m <sup>2</sup>	1000 m <sup>2</sup>



**LOW HAMMOND ROWE ARCHITECTS**

305-1590 CEDAR HILL CROSS ROAD  
VICTORIA BC V8P 2P5  
TEL: 250 472 3013  
LHRA.CA

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**LOW HAMMOND ROWE ARCHITECTS**

2024.07.31

**BERWICK RETIREMENT COMMUNITIES**

HQ for Berwick Retirement Communities

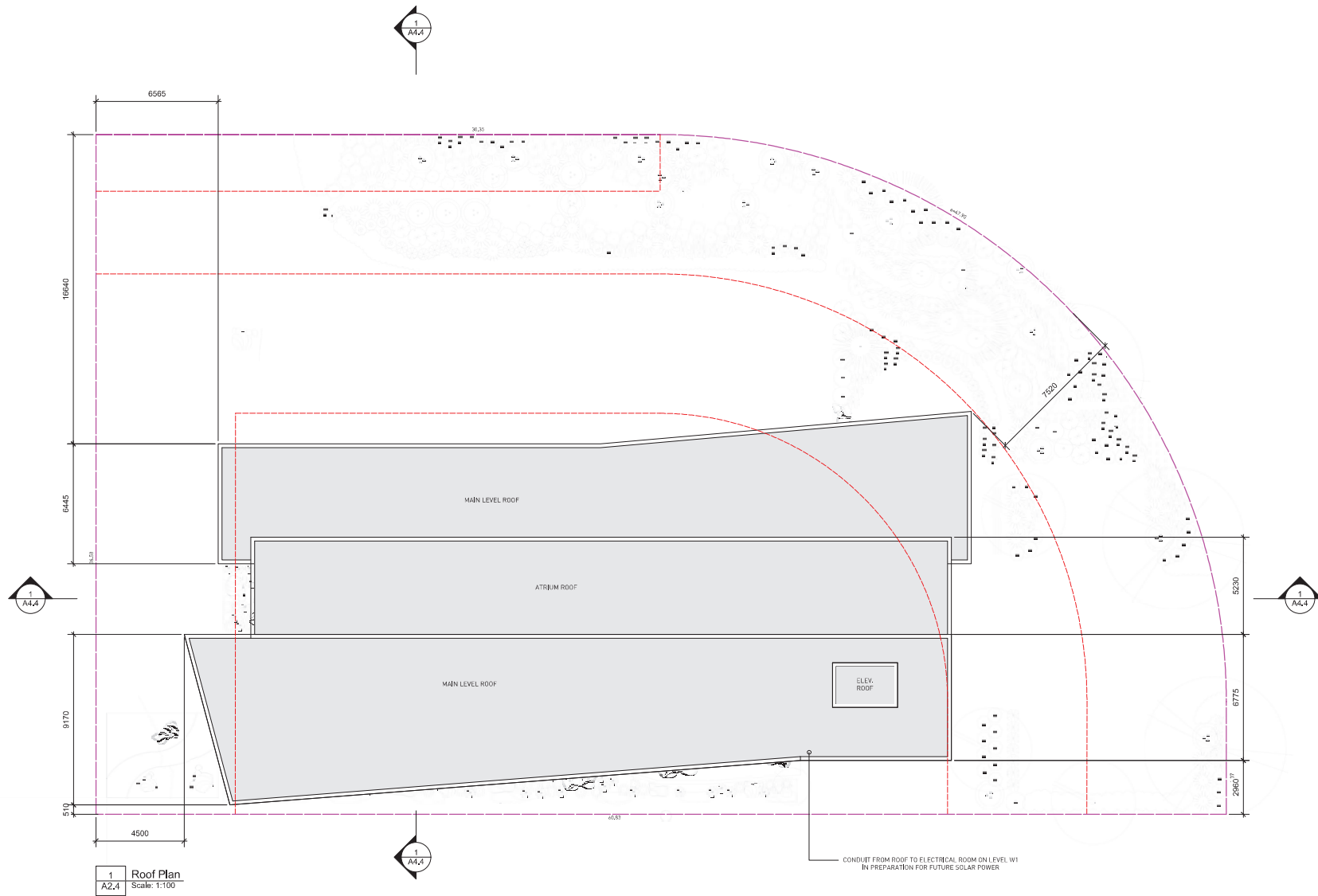
220325  
19.16

Site Plan

A1.0

File name: 1916\_Commerce\_Circle\_HRMW\_R1\_01.dwg

2 Site Plan  
A1.0  
Scale: 1:100



200-1510 CEDAR HILL CROSS ROAD  
VICTORIA BC V8P 2P5  
TEL 250 472 8013  
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NO Date Revision

B 2024-07-22 ISSUED FOR DP REVISIONS  
A 2023-11-07 ISSUED FOR DP SUBMISSION

NO Date Revisions

HQ for Berwick Retirement Communities

4211 Commerce Circle

Date: 220325  
Project number: 19\_16  
Sheet title:

Roof Plan

Sheet number:

A2.4

File name: 1916\_Commerce Circle\_200812\_DP\_V001

Print date:







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ARCHITECTS

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VICTORIA BC V8P 2P5  
TEL 250 472 8913  
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Rev. Date. Version.

B 2024-07-02 ISSUED FOR DP REVISIONS  
A 2023-11-07 ISSUED FOR DP BUILDING

Rev. Date. Version.

HQ for Berwick Retirement Communities



4211 Commerce Circle

Date: 220325  
Project number: 19\_16  
Sheet No.

Building Elevations

Sheet number:

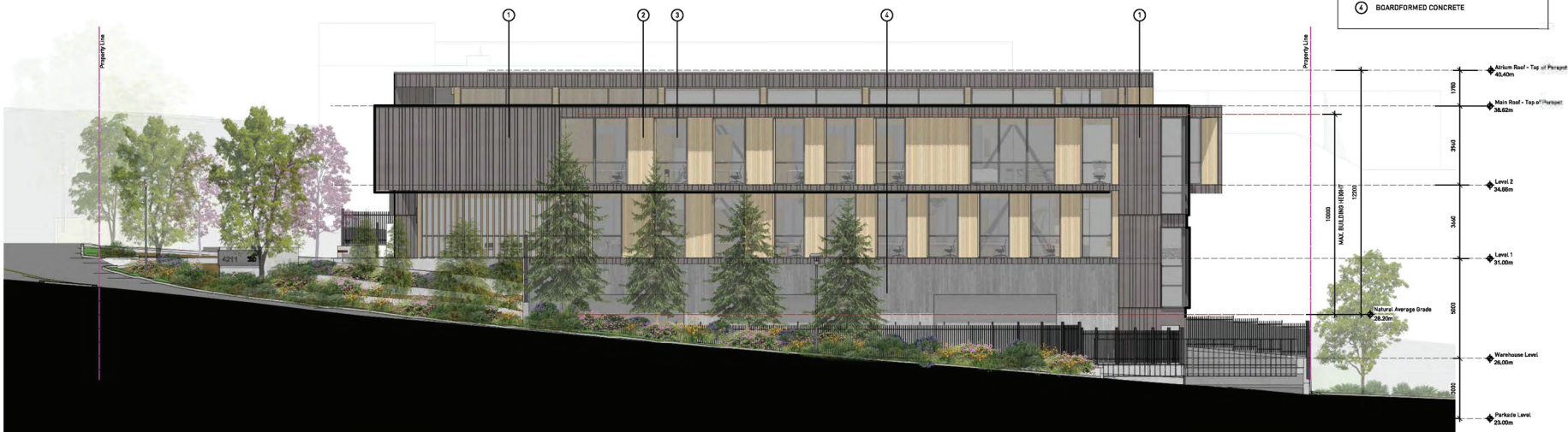
A4.1

File name: 1916\_Commerce Circle\_240612\_DP\_v04

Plot date:

### EXTERIOR FINISHES LEGEND

- ① METAL SIDING
- ② WOOD SIDING
- ③ CURTAINWALL GLAZING
- ④ BOARDFORMED CONCRETE



1 A4.1 East Elevation  
Scale: 1:100



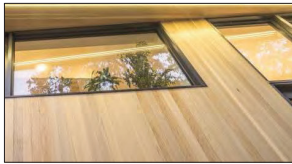
2 A4.1 West Elevation  
Scale: 1:100







Slate Grey Standing Seam Siding



Warm Wood Siding



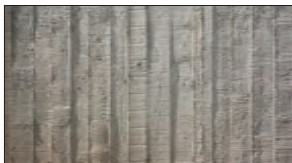
Aluminium Window Frames



Slate Grey Window Shrouds



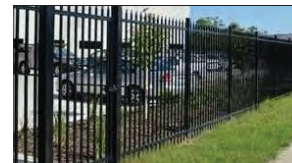
Board Form Concrete



Architectural Concrete



Anodized Aluminium Charcoal Fencing



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A 2023-1-07 ISSUED FOR OF SUBMISSION

No Date Issue

HQ for Berwick Retirement Communities

  
BERWICK  
RETIREMENT  
COMMUNITIES

4211 Commerce Circle

Line 220325

Project number 19.16

Sheet 11A

Materials Board

Sheet number

A5.0

File name 1916\_Commerce Circle\_240812\_OP\_v01

File size





Warehouse and Parkade Entrance from Commerce Circle



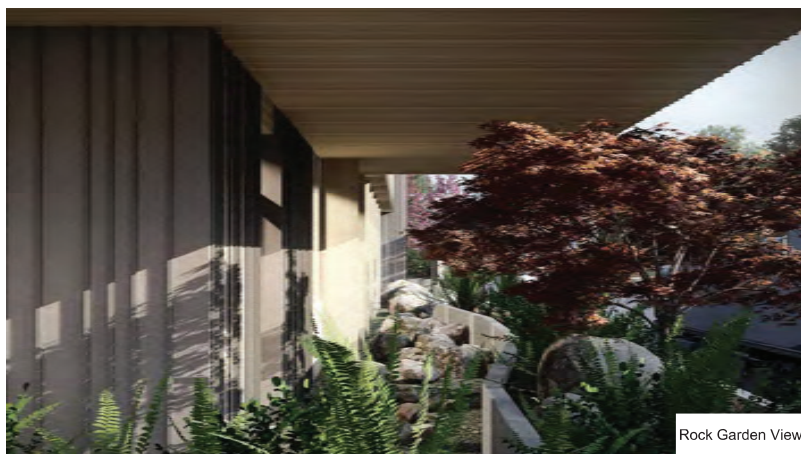
Main Entrance from Commerce Circle



Main Entry View







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No.	Date	Revision
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B 2024-07-22 ISSUED FOR DP REVISIONS  
A 2023-11-07 ISSUED FOR DP SUBMISSION

No.	Date	Issued
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## HQ for Berwick Retirement Communities



4211 Commerce Circle

Date 220325

Project number 19.16

1000

## Perspectives

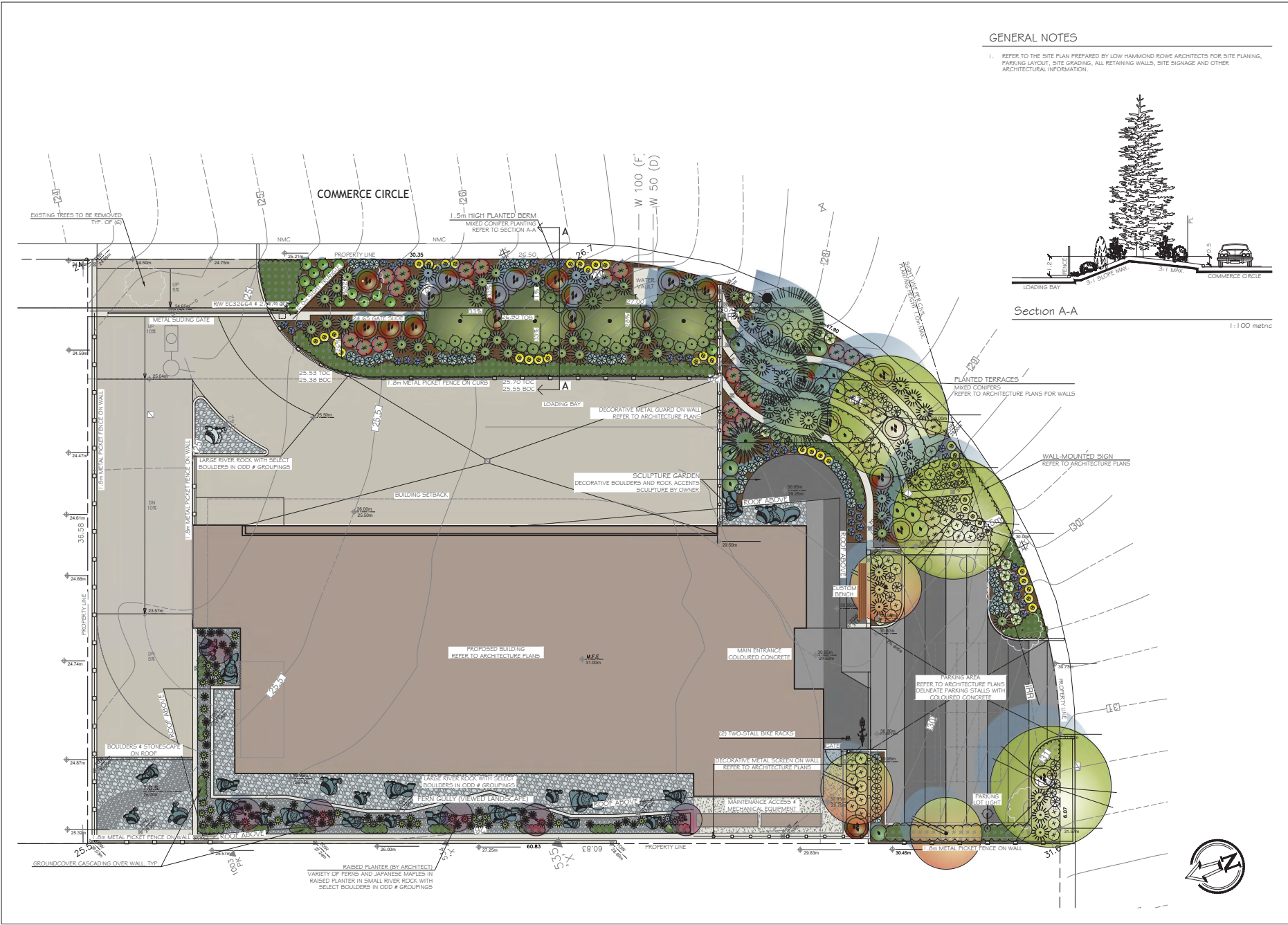
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DCM\_Berwick  
Denford Construction Management Ltd.  
4211 Commerce Circle, Saanich, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	June 17, 2024
Drawn:	CW
Checked:	CW
Scale:	1:100 metric
Project Number:	23-0343
Drawing Number:	L1 of 2

REVISION SCHEDULE	
#	NOTES
0	28.JUN.2023 Sketch Concepts
1	13.JUL.2023 DP Concept Review
2	17.AUG.2023 DP Review B. Coord.
3	125EP2023 Issued for DP
4	05.OCT.2023 Issued for DP
5	19.OCT.2023 Issued for DP
6	13.JUN.2024 Re-issued for DP
7	17.JUN.2024 Re-issued for DP

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD
2. GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 6 GROWING MEDIUM, TABLE 1-6.3.5.2. PROPERTIES FOR GROWING MEDIA:  
LEVEL 2 "GROOMED" - 2P:  
GROWING MEDIUM DEPTHS:   SHRUBS - 450mm  
TREES - 600mm BELOW AND AROUND ROOTBALL
3. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUBS AND GROUNDCOVER PLANTING AREAS.
4. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
5. ALL TREE, SHRUB, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILISING "SMART" (ET) WEATHER-BASED) IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
7. ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE FITS. EXCAVATED PLANT FITS SHALL HAVE POSITIVE DRAINAGE. PLANT FITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
9. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE OWNER. TREE PLANTING ON GRADE SHALL BE WATERED SEPARATE FROM THE SURROUNDING LANDSCAPE.
2. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
3. ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILISING THE EXISTING IRRIGATION CONTROLLER.
4. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR DRIP EQUIPMENT.
5. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
6. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
7. OPERATE IRRIGATION CONTROLLER WITHIN THE DISTRICT OF SAANICH WATER RESTRICTION SCHEDULE.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
TREES					
	ACER PALMATUM 'KATUSURA' #4 RED PYGMY MAPLES	#15 POT	SEE PLAN	3	
	CHAMAECYPARIS NOOTKATENSIS 'PENDULA' WEEPING ALASKA CYPRESS	3.0m	SEE PLAN	1	NATIVE CULTIVAR
	GLEADITSIA TRANCANTHOS F. INERMIS 'SKYCOLE' SKYLINE HONEYLOCUST	5cm CAL.	1.0m O.C.	3	DROUGHT TOLERANT
	MALUS 'RUODOUHY' 'RUODOUHY' FLOWERING CRABAPPLE TREE	4cm CAL.	SEE PLAN	3	
	PICEA PUNGENS 'HOOPSII' COLORADO BLUE SPRUCE	3.0m	3m O.C.	3	DROUGHT TOLERANT
	PINUS FLEXILIS 'VANDERWOLFS' PYRAMID VANDERWOLFS PYRAMID LIMBER PINE	3.0m	4.5m O.C.	4	NATIVE SPECIES
SHRUBS					
	GAULTHERIA SHALLON 'SHALAL'	#1 POT	0.9m O.C.	47	NATIVE SPECIES
	MAHONIA AQUIFOLIUM 'OREGON GRAPE'	#3 POT	1.0m O.C.	15	NATIVE SPECIES
	PHYSOCARPUS OPULIFOLIUS 'MONLO' 'DIABOLO' PURPLE LEAF NINEBARK	#3 POT	1.5m O.C.	24	NATIVE CULTIVAR
	PINUS THUNBERGIANA 'NATSUBUSA' DWARF JAPANESE BLACK PINE	#15 POT	1.2m O.C.	55	DROUGHT TOLERANT
	POTENTILLA FRUTICOSA 'ABBOTTWOOD' #4 'PINK BEAUTY' WHITE # PINK SHRUBBY CINQUEFOIL	#3 POT	.75m O.C.	50	NATIVE CULTIVARS
	ROSA NUTKANA 'NOOTKA ROSE'	#1 POT	1.0m O.C.	31	NATIVE SPECIES
FERNS, GROUNDCOVER & PERENNIALS					
	ARCTOSTAPHYLOS UVA-URSI 'KINNIKINNICK'	#1 POT	0.6m O.C.	280	NATIVE SPECIES, GROUNDCOVER & WALL CASCADE
	DRYOPTERIS FILIX-MAS 'LINEARIS POLIOACTYLIS' SLENDER CRESTED MALE FERN	#2 POT	SEE PLAN	42	
	HELICTOTRICHON SEMPERVIRENS 'BLUE OAT GRASS'	#2 POT	0.6m O.C.	66	DROUGHT TOLERANT
	NEPETA RACEMOSA 'WALKERS LOW' WALKERS LOW CATMINT	#2 POT	0.6m O.C.	48	DROUGHT TOLERANT
	POLYSTICHUM MUNIFOLIUM 'SWORD FERN'	#3 POT	0.6m O.C.	39	NATIVE SPECIES
	RUDBECKIA HIRTIDA 'GOLDSTRUM' GOLDSTRUM CONEFLOWER	#2 POT	0.6m O.C.	41	DROUGHT TOLERANT



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DCM\_Berwick

Denford Construction Management Ltd.

4211 Commerce Circle, Saanich, BC

LEGEND & NOTES

Date: June 17, 2024

Drawn: CM

Checked: CM

Scale: N/A

Project Number: 23-0343

DRAWING NUMBER: L2 of 2

#	REVISION SCHEDULE	NOTES
0	28 JUN 2023	Sketch Concepts
1	13 JUL 2023	DP Concept Review
2	17 AUG 2023	DP Review & Coord.
3	12 SEP 2023	Issued for DP
4	05 OCT 2023	Issued for DP
5	19 OCT 2023	Issued for DP
6	13 JUN 2024	Re-issued for DP
7	17 JUN 2024	Re-issued for DP