

DRAWING LIST

ARCHITECTURAL

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- A0.2 SURVEY
- A1.0 SITE PLAN
- A2.0 FLOOR PLAN - PARKADE
- A2.1 FLOOR PLAN - WAREHOUSE
- A2.2 FLOOR PLAN - LEVEL 1
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LANDSCAPE

- L1 LANDSCAPE PLAN
- L2 PLANTING LEGEND AND NOTES

CIVIL

- C01 SITE AND SERVICING PLAN

PROJECT TEAM

OWNER

CHRISTOPHER ESTATES LTD
1162 FORT STREET
VICTORIA, BC V8V 3K8

Chris Denford, Director

CLIENT

BERWICK RETIREMENT COMMUNITIES
1162 FORT STREET
VICTORIA, BC V8V 3K8

Chris Denford, President

ARCHITECT

LOW HAMMOND ROWE ARCHITECTS INC
SUITE 300 - 1590 CEDAR HILL CROSS ROAD
VICTORIA, BC V8P 2P5

Jackson Low, Architect AIBC
250.472.8013 x101 | Jackson.Low@lra.ca

Selena Kwok, Architect AIBC
250.472.8013 x 208 | SelenaKwok@lra.ca

LANDSCAPE

Macdonald Gray Consultants Inc.

Cara MacDonald, MBCSLA
Owner / Principal Landscape Architect
Tel. 250.248.3089
Cel. 250.927.3781
E. cara@macdonaldgray.ca

CIVIL

On Point Project Engineers Ltd.

Frank Copley, ASGT
Senior Civil Technologist
Direct 250.900.0305
Mobile 250.888.0250



ISSUED FOR: DP RESUBMISSION

July 22, 2024

BERWICK RETIREMENT COMMUNITIES HQ

4211 Commerce Circle



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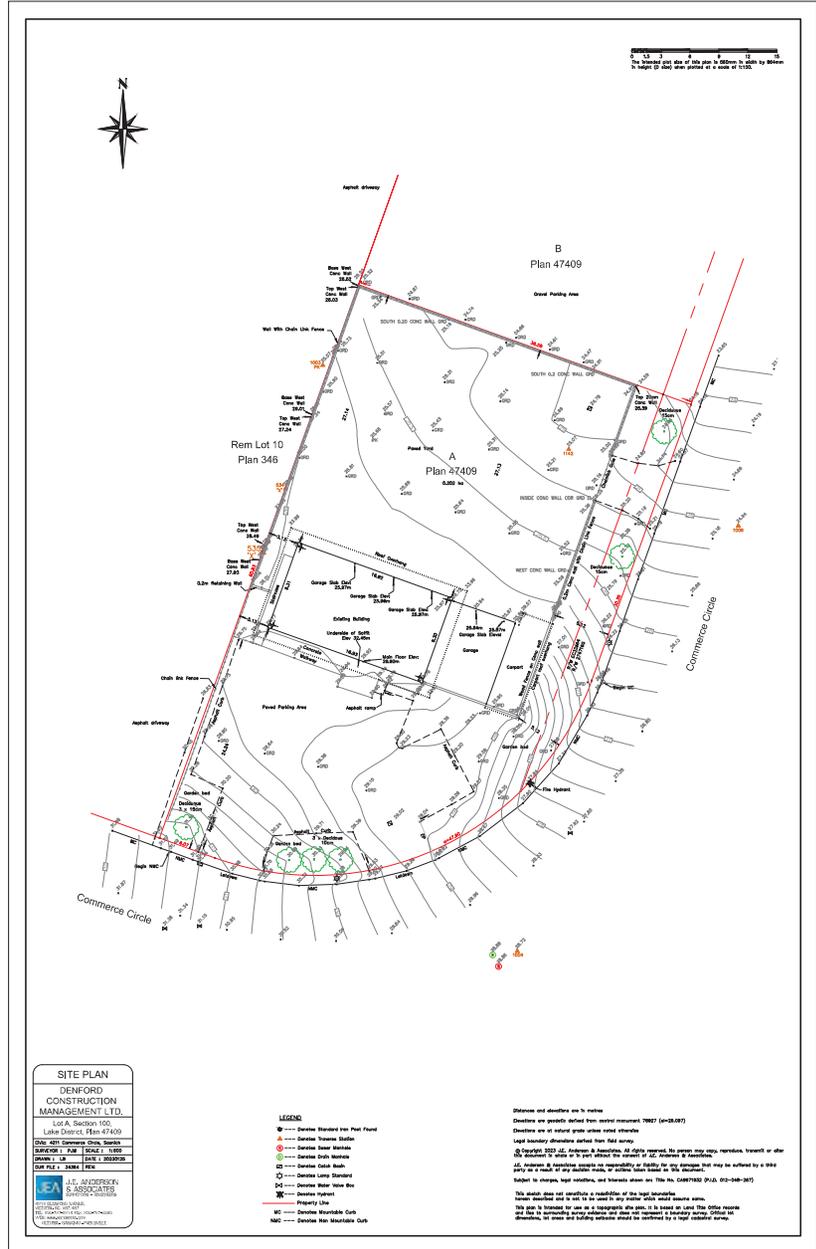
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BERWICK
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NOTE:
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 BY:
 J.E. ANDERSON & ASSOCIATES
 January 25, 2023

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 ARCHITECTS**

200-1510 CEDAR HILL CROSS ROAD
 VICTORIA BC V8P 2P5
 TEL 250 472 8013
 LHRa,CA

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HQ for Berwick Retirement Communities



4211 Commerces Circle

NO 220325

Project number: 19_16

Sheet title:

Survey

Sheet number:

A0,2

File name: 1916_Commerces Circle_200612_01.dwg

Project:

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BERWICK RETIREMENT COMMUNITIES

4211 Commerce Circle

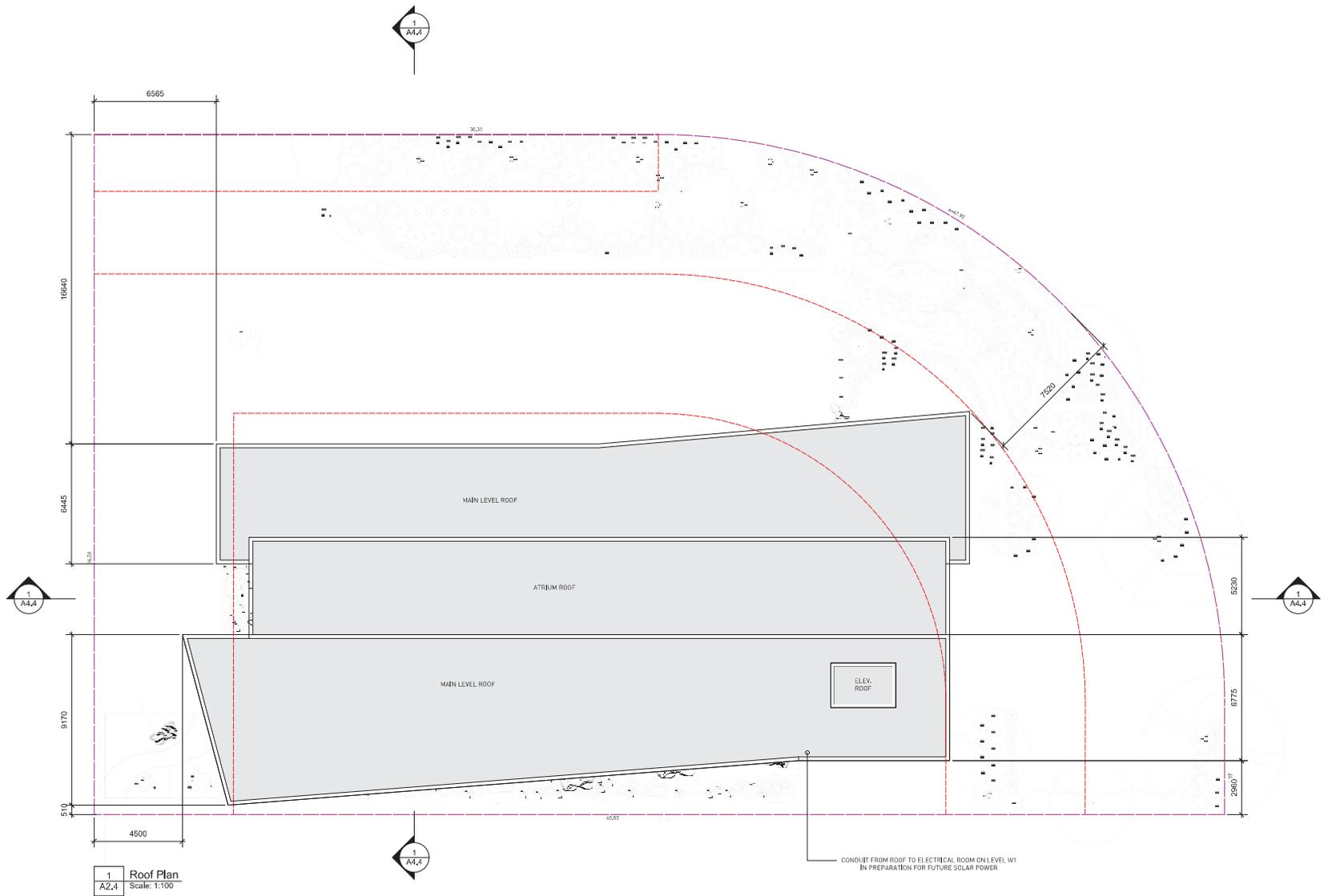
NO 220325
Sheet Title 19_16

Roof Plan

Sheet Number
A2.4

File name: 1916_Commerce Circle_200612_DP.rvt

Project name



EXTERIOR FINISHES LEGEND	
①	METAL SIDING
②	WOOD SIDING
③	CURTAINWALL GLAZING
④	BOARDFORMED CONCRETE
⑤	ELEVATOR OVERRUN



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 205-1590 CEDAR HILL CROSS ROAD
 VICTORIA BC V8P 2P9
 TEL: 250 472 8013
 LHRA.CA

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BERWICK RETIREMENT COMMUNITIES
 4211 Commerce Circle

File: 220325
 Project Number: 19_16
 Sheet No:

Building Elevations

Sheet number
A4.0

File: 1916_Commerce Circle_240812_DP.rvt
 Plot date:



2 North Elevation
 A4.0 Scale: 1:100

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EXTERIOR FINISHES LEGEND	
①	METAL SIDING
②	WOOD SIDING
③	CURTAINWALL GLAZING
④	BOARDFORMED CONCRETE



1 East Elevation
A4.1 Scale: 1:100



2 West Elevation
A4.1 Scale: 1:100



1 Commerce Circle Street Elevation East
Scale: 1:100



2 Commerce Circle Street Elevation South
Scale: 1:100



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300-1596 CEDAR HILL CROSS ROAD
VICTORIA BC V8P 2P5
TEL 250 472 8013
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HQ for Berwick Retirement Communities

4211 Commerce Circle

Date 220325

Project number 19.16

Sheet title

Street Elevations

A4.3

File name 1916_Commerce Circle_20012_DP_vxx

File date



Slate Grey Standing Seam Siding



Warm Wood Siding



Aluminium Window Frames



Slate Grey Window Shrouds



Board Form Concrete



Architectural Concrete



Anodized Aluminium Charcoal Fencing



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BERWICK
 RETIREMENT
 COMMUNITIES

HQ for Berwick Retirement Communities

4211 Commerce Circle

Date: 22/03/25

Project number: 19-16

Sheet No:

Materials Board

Sheet number:

A5.0

File name: 1916_Commerce Circle_240824_DP_v05

File size:



Warehouse and Parkade Entrance from Commerce Circle



Main Entrance from Commerce Circle



Main Entry View



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VICTORIA BC V8P 2P5
TEL 250 472 8013
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HQ for Berwick Retirement Communities

4211 Commerce Circle

Date: 22/03/25

Project number: 19_16

Sheet title:

Perspectives

Sheet number:

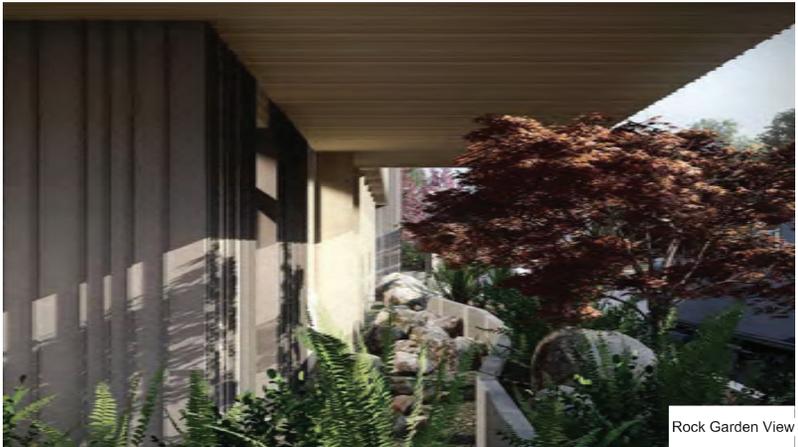
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File name: 1916_Commerce Circle_200612_DP000

Project: 2024-07-23



Southwest Elevation View



Rock Garden View



North Elevation View



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No.	Date	Revisions
8	2024-07-27	ISSUED FOR DP REVISIONS
A	2023-11-07	ISSUED FOR DP SUBMISSION

No.	Date	Revisions
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HQ for Berwick Retirement Communities

BERWICK RETIREMENT COMMUNITIES

4211 Commerce Circle

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Project number:	19_16
Sheet title:	

Perspectives

Sheet name:

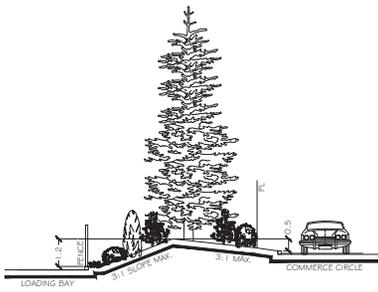
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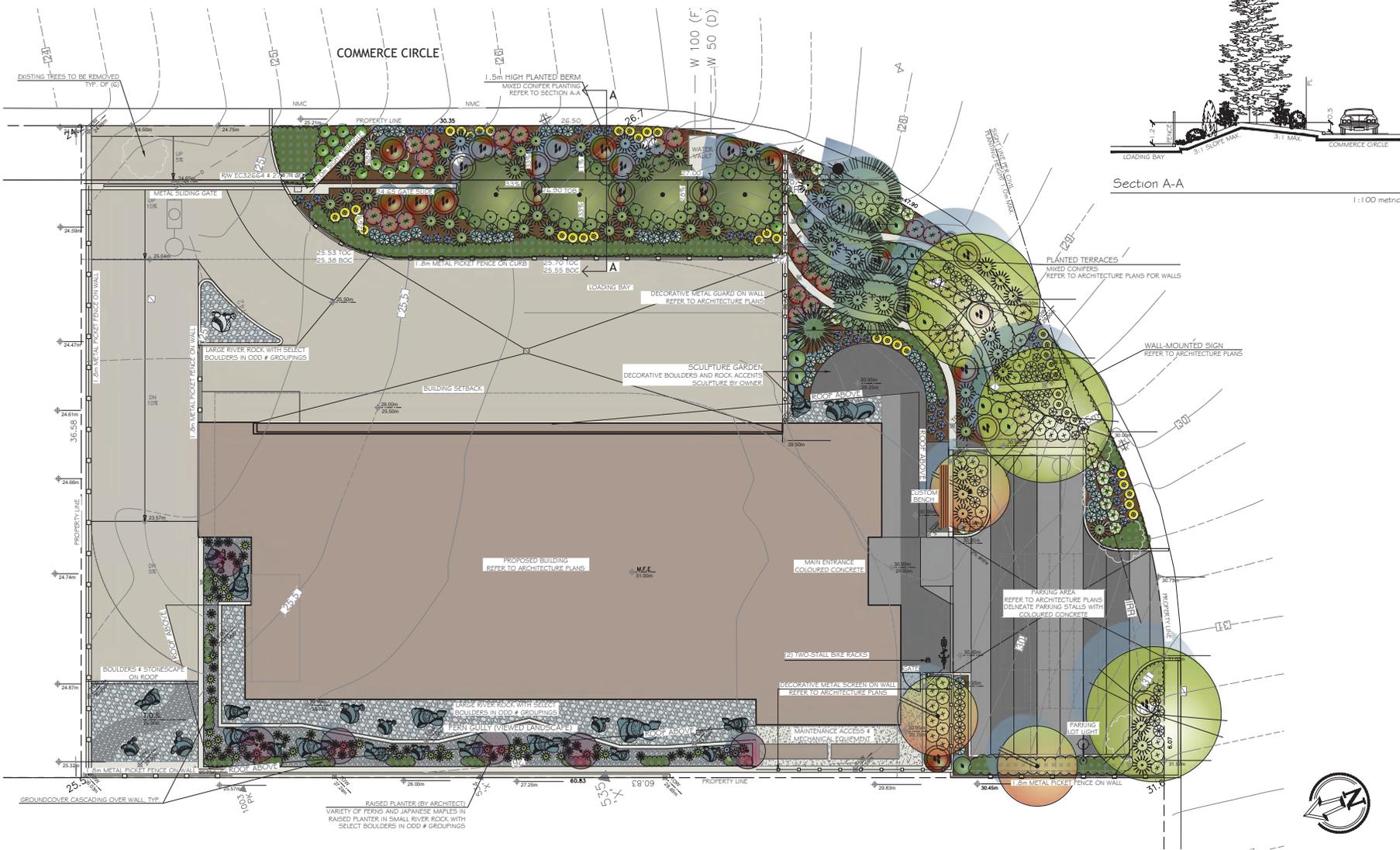
Project:

GENERAL NOTES

1. REFER TO THE SITE PLAN PREPARED BY LOW HAMMOND ROWE ARCHITECTS FOR SITE PLANNING, PARKING LAYOUT, SITE GRADING, ALL RETAINING WALLS, SITE SIGNAGE AND OTHER ARCHITECTURAL INFORMATION.



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DCM_Berwick
Denford Construction Management Ltd.
4211 Commerce Circle, Saanich, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	June 17, 2024
Drawn:	CW
Checked:	CW
Scale:	1:100 metric
Project Number:	23-0343
DRAWING NUMBER:	L1 of 2

REVISION SCHEDULE	
#	NOTES
0	28 JUN 2023 Sketch Concepts
1	13 JUL 2023 DP Concept Review
2	17 AUG 2023 DP Review B. Coord.
3	12 SEP 2023 Issued for DP
4	05 OCT 2023 Issued for DP
5	19 OCT 2023 Issued for DP
6	13 JUN 2024 Re-issued for DP
7	17 JUN 2024 Re-issued for DP

PLANTING NOTES

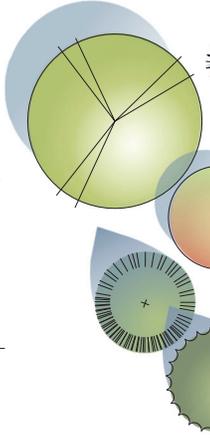
- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION G GROWING MEDIUM, TABLE 1-G.3.5.2. PROPERTIES FOR GROWING MEDIA:
LEVEL 2 "SROOMED" - 2P
GROWING MEDIUM DEPTHS: SHRUBS - 450mm
TREES - 600mm BELOW AND AROUND ROOTBALL
- MULCH SHALL BE COMPOST PER SECTION 1-0 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM COVER ALL TREE, SHRUBS AND GROUND COVER PLANTING AREAS.
- PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
- ALL TREE, SHRUB, GROUND COVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILISING "SMART" (ETI WEATHER-BASED) IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE FITS. EXCAVATED PLANT FITS SHALL HAVE POSITIVE DRAINAGE. PLANT FITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
- NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY THE OWNER. TREE PLANTING ON GRADE SHALL BE WATERED SEPARATE FROM THE SURROUNDING LANDSCAPE.
- IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILISING THE EXISTING IRRIGATION CONTROLLER.
- IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR DRIP EQUIPMENT.
- THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
- ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
- OPERATE IRRIGATION CONTROLLER WITHIN THE DISTRICT OF SAANICH WATER RESTRICTION SCHEDULE.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
TREES					
	ACER PALMATUM 'KATUSURA' 4 RED PYGMY KATSURA 4 RED PYGMY JAPANESE MAPLES	#15 POT	SEE PLAN	3	
	CHAMAECYPARIS NOOTKATENSIS 'PENICULA' WEEPING ALASKA CYPRESS	3.0m	SEE PLAN	1	NATIVE CULTIVAR
	GLEDITSIA TRANCANTHOS F. INERMIS SKYCOLE SKYLINE HONEYLOCUST	5cm CAL.	1.0m O.C.	3	DROUGHT TOLERANT
	MALUS 'RUDDOLPH' RUDDOLPH FLOWERING CRABAPPLE TREE	4cm CAL.	SEE PLAN	3	
	PICEA PLUNGENS 'HOOPSII' COLORADO BLUE SPRUCE	3.0m	3m O.C.	3	DROUGHT TOLERANT
	PINUS FLEXILIS 'VANDERWOLFS' PYRAMID VANDERWOLFS PYRAMID LUMBER PINE	3.0m	4.5m O.C.	4	NATIVE SPECIES
SHRUBS					
	GALLTHERIA SHALLON SHALAL	#1 POT	0.9m O.C.	47	NATIVE SPECIES
	MARHONIA AQUIFOLIUM OREGON GRAPE	#3 POT	1.0m O.C.	15	NATIVE SPECIES
	PHYSCOCARPUS OPULOFOLIUS 'MONLO' DIABOLO PURPLE LEAF NINEBARK	#3 POT	1.5m O.C.	24	NATIVE CULTIVAR
	PINUS THUNBERGIANA 'NATSUBUSA' DWARF JAPANESE BLACK PINE	#15 POT	1.2m O.C.	55	DROUGHT TOLERANT
	POTENTIALIA FRUTICOSA 'ABBOTSWOOD' 4 PINK BEAUTY 4 PINK SHRUBBY CINQUEFOIL	#3 POT	.75m O.C.	50	NATIVE CULTIVARS
	ROSA NUTKANNA NOOTKA ROSE	#1 POT	1.0m O.C.	31	NATIVE SPECIES
FERNS, GROUND COVER 4 PERENNIALS					
	ARCTOSTAPHYLOS UVA-URSI KINKINNICK	#1 POT	0.6m O.C.	280	NATIVE SPECIES, GROUND COVER 4 WALL CASCADE
	DRYOPTERIS FILIX-MAS 'LINEARIS' POLYDACTYLIA SLENDER CRESTED MALE FERN	#2 POT	SEE PLAN	42	
	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS	#2 POT	0.6m O.C.	66	DROUGHT TOLERANT
	NEPETA RACEMOSA WALKERS LOW WALKERS LOW CATMINT	#2 POT	0.6m O.C.	48	DROUGHT TOLERANT
	POLYSTICHUM MUNITUM SWORD FERN	#3 POT	0.6m O.C.	39	NATIVE SPECIES
	RUDBECKIA FLUIDIDA 'GOLDSTRUM' GOLDSTRUM CONEFLOWER	#2 POT	0.6m O.C.	41	DROUGHT TOLERANT



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4211 Commerce Circle, Saanich, BC

LEGEND & NOTES

Date: June 17, 2024
 Drawn: CM
 Checked: CM
 Scale: N/A
 Project Number: 23-0343
 DRAWING NUMBER: L2 of 2

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